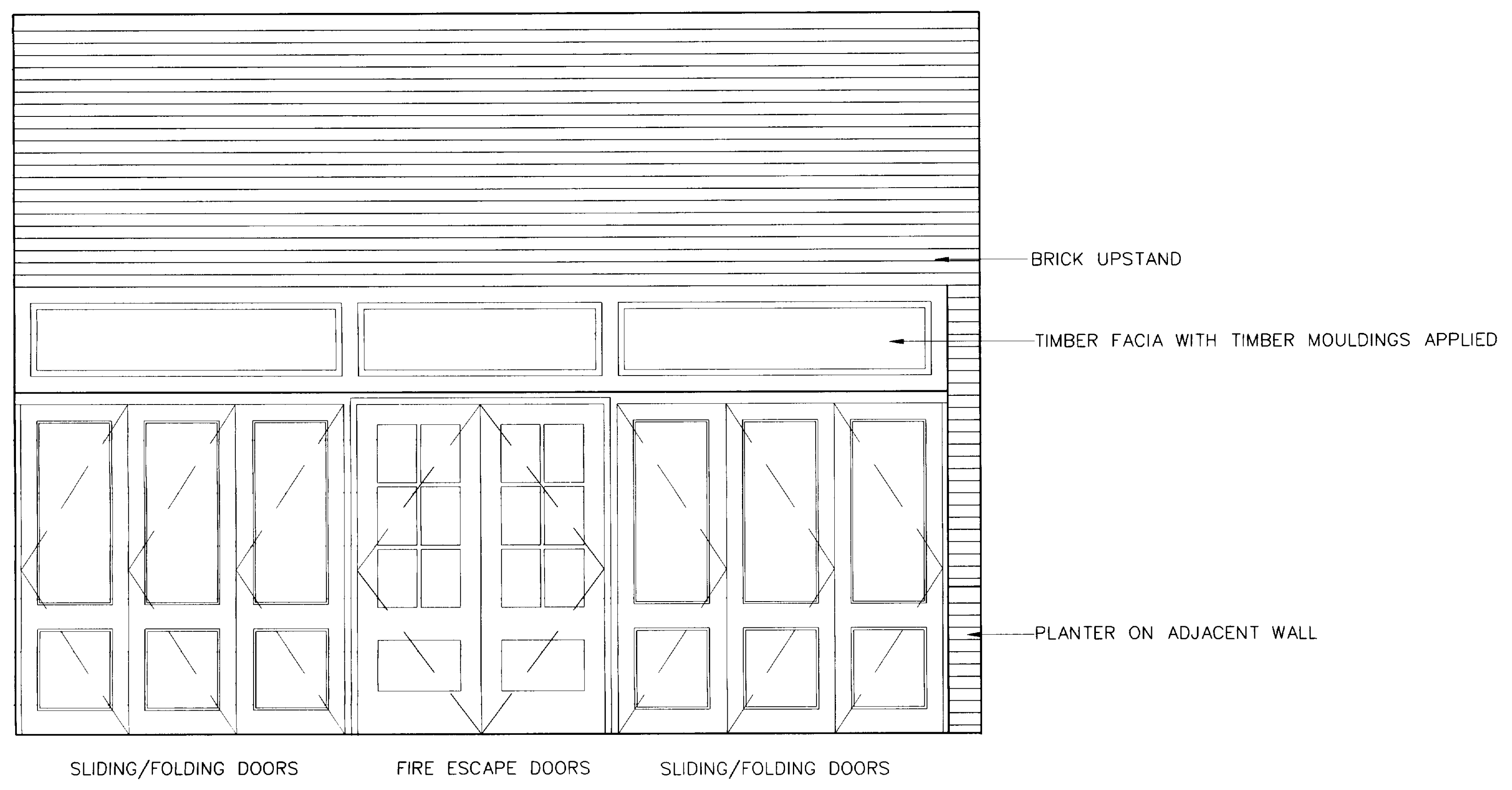


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NOTES AND SCHEDULES



Letter	Revisions	Date

**NICHOLSON**  
 ARCHITECTS

Langwood House, High Street,  
 Rickmansworth, Herts WD3 1ER  
 Telephone 01923 896178  
 Fax: 01923 896167

Architects . Designers . Planners

Client  
 J.D. WETHERSPOON Plc.

Project  
 THE DOLPHIN & ANCHOR  
 WEST STREET  
 CHICHESTER, W. SUSSEX

Title  
 EXTERNAL AREA ELEVATION

Scale 1:20	Date NOV 1998
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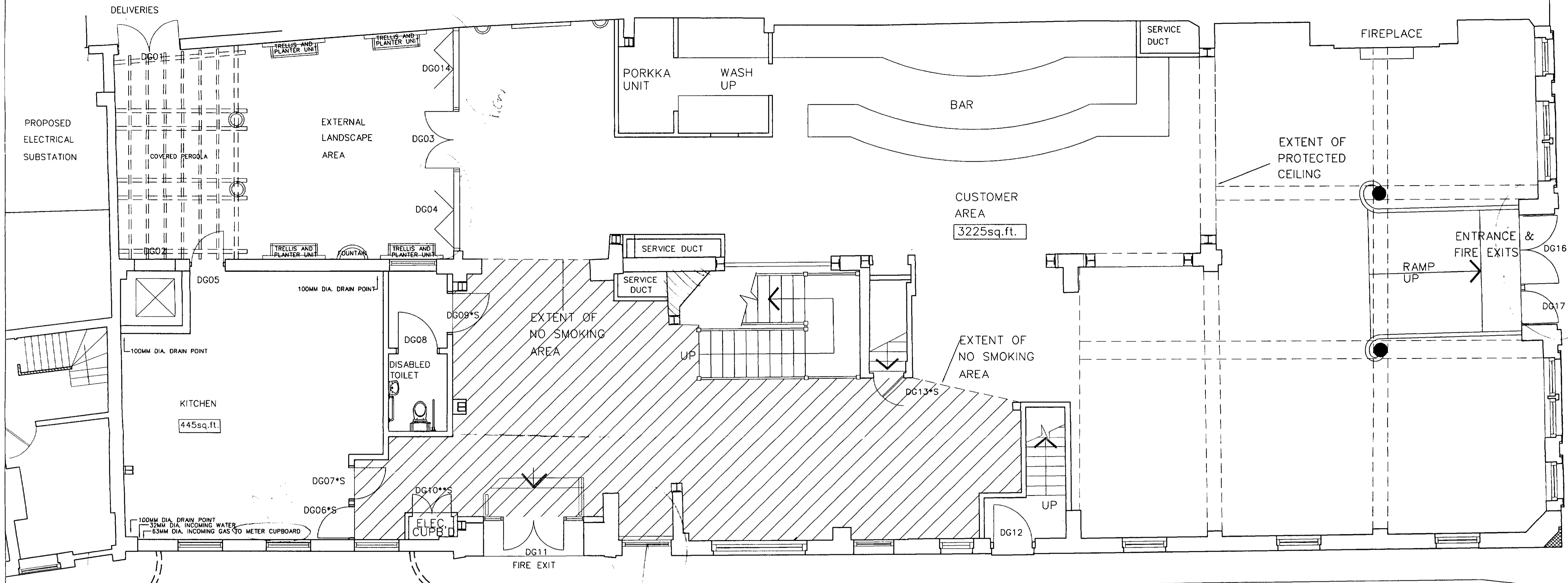
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CAD File:

Drawing No. 925/114	Revision
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NOTES AND SCHEDULES



- NOTES AND SCHEDULES
- DOORS MARKED THUS: - \* ARE TO BE 1/2 HR. FR. S/C SOLID CORE DOORS  
DOORS MARKED THUS: - \* S ARE TO BE 1/2 HR. FR. S/C SOLID CORE DOORS, WITH INTUMESCENT/SMOKE SEAL STRIPS, FITTED TO ALL SIDES & TOPS.  
DOORS MARKED THUS: - \*\* ARE TO BE 1 HR. FR. S/C SOLID CORE DOORS  
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  - FOR DETAILS OF MECHANICAL VENTILATION, ABOVE GROUND PLUMBING, & BELOW GROUND DRAINAGE, SEE SERVICE ENGINEERS DRAWINGS.
  - ALL SERVICES PASSING THROUGH EACH COMPARTMENT, FLOOR, & WALL, THROUGHOUT, TO BE FITTED WITH INTUMESCENT FIRE STOP ENCLOSURES/COLLARS.
  - NEW STEELWORK GENERALLY TO BE CASED IN EML & 10mm GYPSUM PLASTER SYSTEM, OR OTHER APPROVED, TO PROVIDE 1 HR. FR.
  - EACH FIRE EXIT DOOR TO BE FITTED WITH QUICK RELEASE FASTENINGS - EG: THUMBTURN OPERABLE AT ALL TIMES.
  - EACH FIRE EXIT DOOR NOT FITTED WITH QUICK RELEASE FASTENINGS, ARE TO BE FITTED WITH PANIC BOLT LATCHES.
  - TO CUSTOMER AREA - CAVITY BARRIER TO BE INSTALLED WITHIN THE SUSPENDED CEILING VOID ACROSS THE UNIT (POSITION TO BE CONFIRMED BY ARCHITECT) IN 100mm ROCKWOOL CAVITY BARRIER SYSTEM FIXED BETWEEN 1/5 OF STRUCTURAL CEILING & SUSPENDED CEILING.
  - DPC'S TO BE PROVIDED TO ALL HORIZONTAL & VERTICAL, EXTERNAL DOOR & WINDOW OPENINGS. DPC'S TO BE PERMABIT "HYLOAD", OR SIMILAR APPROVED TO:-  
BS 5628 - Pt. 3 - 1985  
BS 8215 - 1991  
BS 8000 - Pt. 3 - 1989
  - ALL DOORS TO HAVE 900mm STRUCTURAL OPENINGS UNLESS OTHERWISE DIMENSIONED
  - ALL INTERNAL WALLS TO BE 100mm BLOCKWORK UNLESS OTHERWISE NOTED

K	STEP TO FIRE EXIT ADDED ELECTRICAL CUPBOARD ENLARGED	5/1/99
J	PERGOLA CONSTRUCTION REVISED DOOR DG15 REMOVED	18/11/98
H	REVISED AS DAG : PORKKA UNIT ADDED	6/10/98
Plans Frozen As DAG 1 30/9/98		
G	NEW STAIR TO FIRST FLOOR TOILETS WASH-UP AREA AMENDED COLUMNS BOXED LANDSCAPED AREA FEATURES INDICATED	17/9/98
D	DOOR NUMBERS ADDED, BAR PLAN AMENDED	07/08/98
C	PROTECTED CEILING AMENDED & BEAMS SHOWN DOTTED IN LISTED CEILING AREA	30/07/98
B	ELECTRICAL CUPBOARD REPOSITIONED STEP ADDED NEAR NEW ELEC. CUPB'D	16/07/98
A	SERVICES POINT SHOWN IN KITCHEN	10/07/98
Letter	Revisions	Date

**NICHOLSON**  
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Architects . Designers . Planners

Client  
J.D. WETHERSPOON Pic.

Project  
THE DOLPHIN & ANCHOR  
WEST STREET  
CHICHESTER, W. SUSSEX

Title  
PROPOSED GROUND  
FLOOR PLAN

Scale 1:50 Date MAY 98

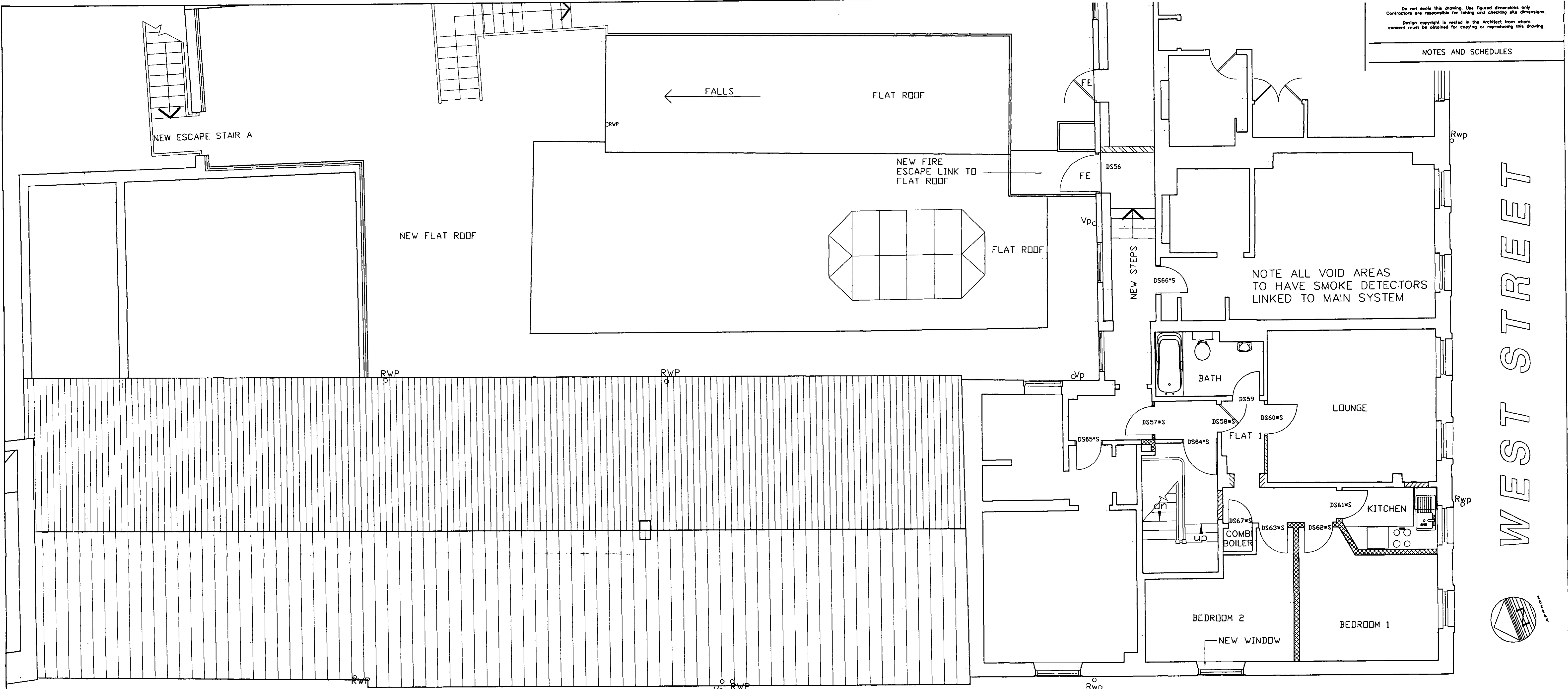
Drawn NB Checked

CAD File: D:/925/925-40.dwg

Drawing No. 925/40 Revision K

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NOTES AND SCHEDULES



CHAPEL STREET

WEST STREET

A FLAT 2 REMOVED DOOR NOS ADDED 30/10/98

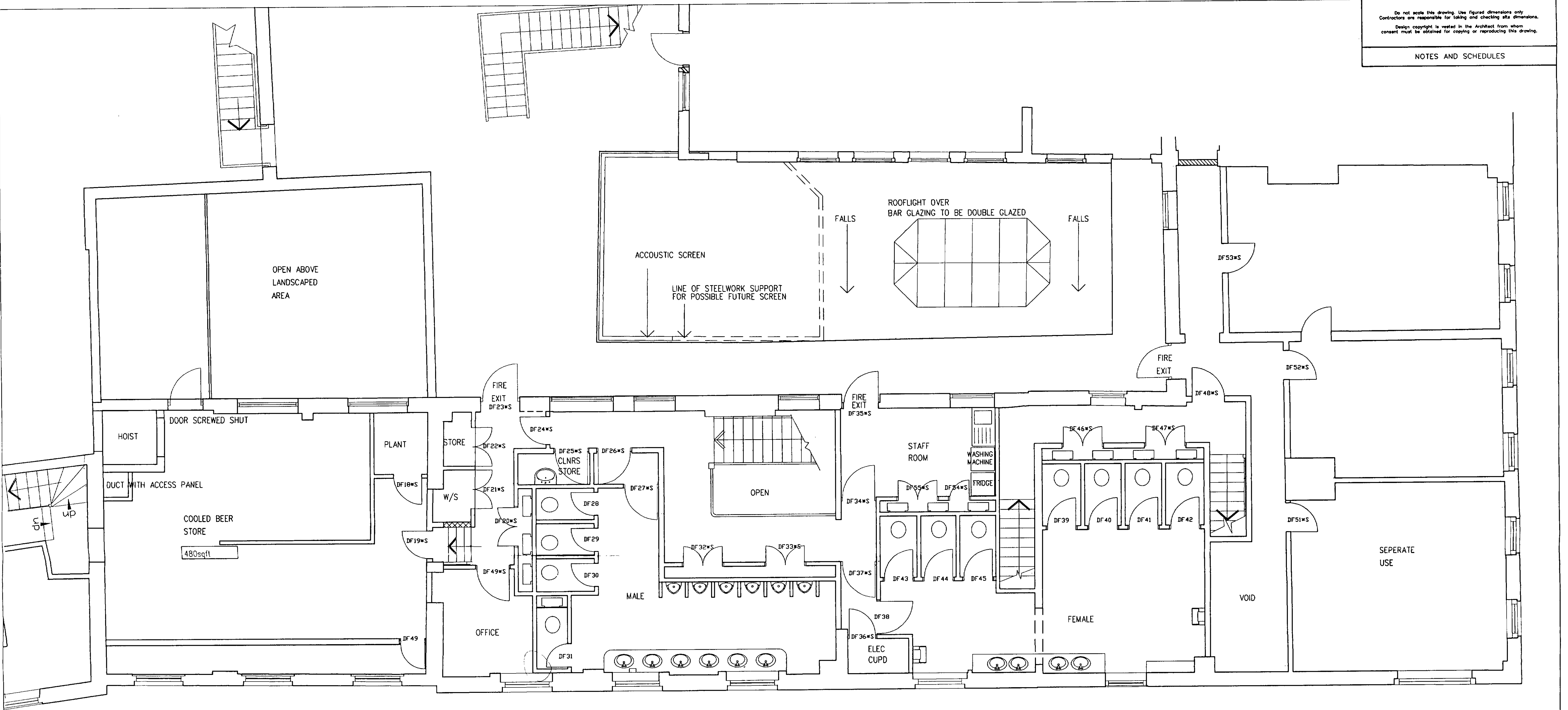
Letter	Revisions	Date
<b>NICHOLSON</b> <b>PARTNERSHIP</b> Longwood House, High Street, Rickmansworth, Herts WD3 1ER Telephone: 01923 896178 Fax: 01923 896167		
Architects . Designers . Planners		

Client		J.D. WETHERSPOON Pic.
Project		THE DOLPHIN & ANCHOR WEST STREET CHICHESTER, W. SUSSEX
Title		PROPOSED SECOND FLOOR PLAN
Scale	1:50	Date
Drawn	NB	Checked
CAD File: D:/925/925-60.dwg		Revision
Drawing No.		925/60
D DETAILS TO FLAT ADDED, ACOUSTIC FLOOR REMOVED		8/1/98
A FIRE COMPARTMENTATION DOORS ADDED		2/12/98

D DETAILS TO FLAT ADDED, ACOUSTIC FLOOR  
REMOVED 8/1/98  
A FIRE COMPARTMENTATION DOORS ADDED 2/12/98

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NOTES AND SCHEDULES



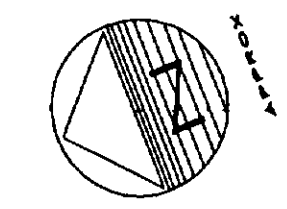
**NICHOLSON**  
**PARTNERSHIP**

Longwood House, High Street,  
Rickmansworth, Herts WD3 1ER  
Telephone: 01923 896178  
Fax: 01923 896167

Architects . Designers . Planners

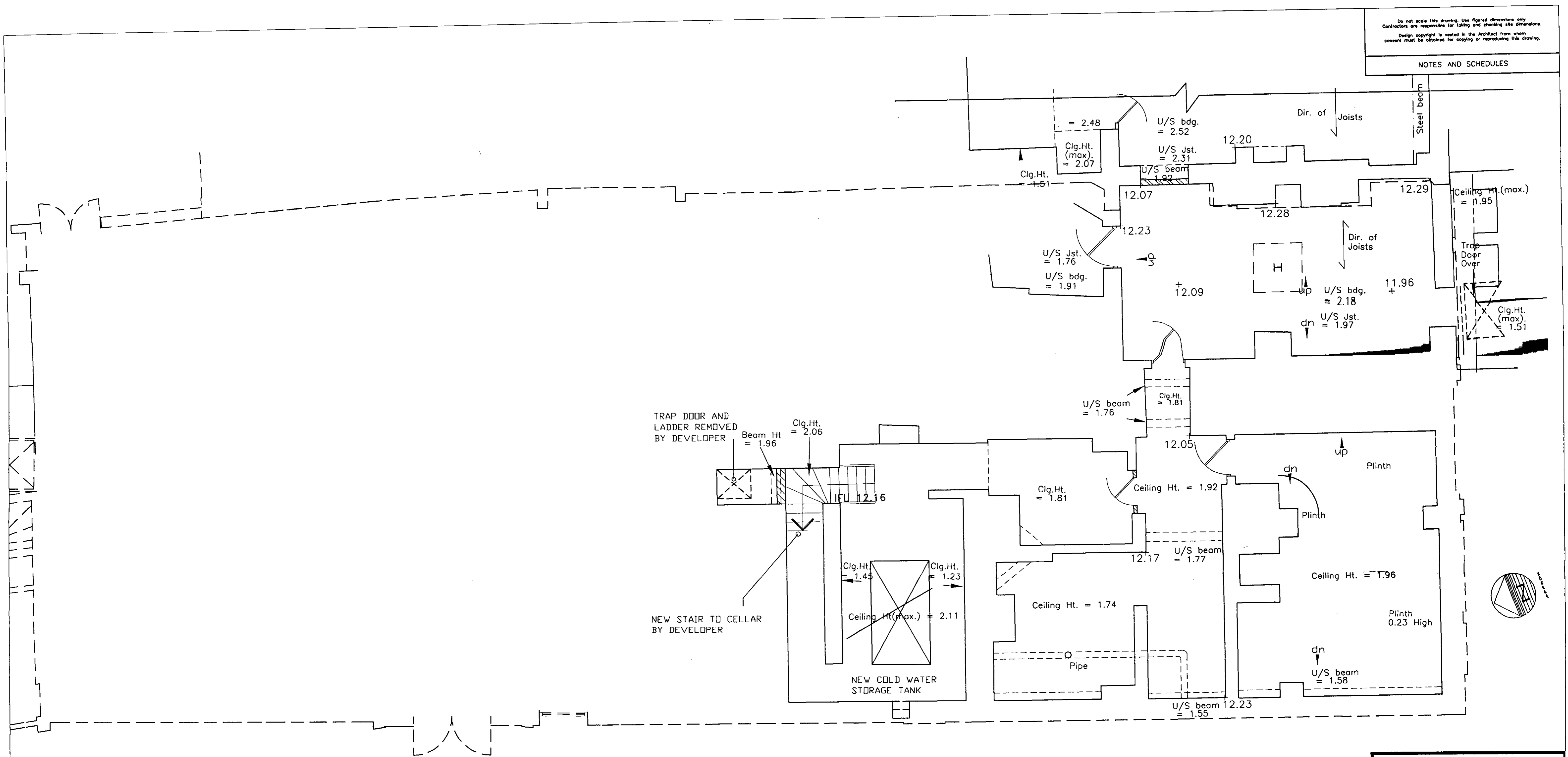
Letter	Revisions	Date
T	ROOF LIGHT SHAPE AMENDED	14/1/99
S	RAISED FLOOR ADDED TO FEMALE TOILET STEEL FOR ACCOUSTIC SCREEN INDICATED ELECTRICAL CUPBOARD ENLARGED	5/1/99
R	CLEANERS CUPBOARD ADDED TO FEMALE TOILET	15/12/98
O	ACCOUSTIC SCREEN REVISED	11/12/98
P	DOOR IN COOLED BEER STORE REMOVED POSITION OF ACCOUSTIC SCREEN INDICATED DOOR NUMBERS REVISED	23/11/98
H	DAG 2 REVISION: OFFICE REPOSITIONED	11/11/98
M	FEMALE TOILET LAYOUT REVISED	9/11/98
L	DOOR NUMBERS REVISED	30/10/98
K	COOLED BEER STORE REVISED	26/10/98
J	DOOR No.s ADDED	29/9/98
H	TOILET AREAS REVISED	17/9/98
G	MALE TOILET REVISED	10/9/98
F	LAYOUT REVISED	9/9/98
C	TOILETS REVISED	12/8/98
B	WINE/SPIRITS STORE, STAFF ROOM & PLANT ROOM ADDED. FLUE ADDED AND WINDOR AMENDMENTS TO WALLS	15/07/98
A	DOOR FROM FEMALE LOBBY TO FIRE EXIT ADDED	29/10/97

Client	J.D. WETHERSPOON Plc.	
Project	THE DOLPHIN & ANCHOR WEST STREET CHICHESTER, W. SUSSEX	
Title	PROPOSED FIRST FLOOR PLAN	
Scale	1:50	Date MAY 98
Drawn	NB	Checked
CAD File:	D:/925/925-50.dwg	
Drawing No.	925/50	Revision T



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NOTES AND SCHEDULES



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Fax: 01923 896167

Architects . Designers . Planners

Client  
J.D. WETHERSPOON Plc.

Project  
THE DOLPHIN & ANCHOR  
WEST STREET  
CHICHESTER, W. SUSSEX

Title  
PROPOSED BASEMENT  
PLAN

Scale 1:50 Date JULY 98

Drawn NB Checked

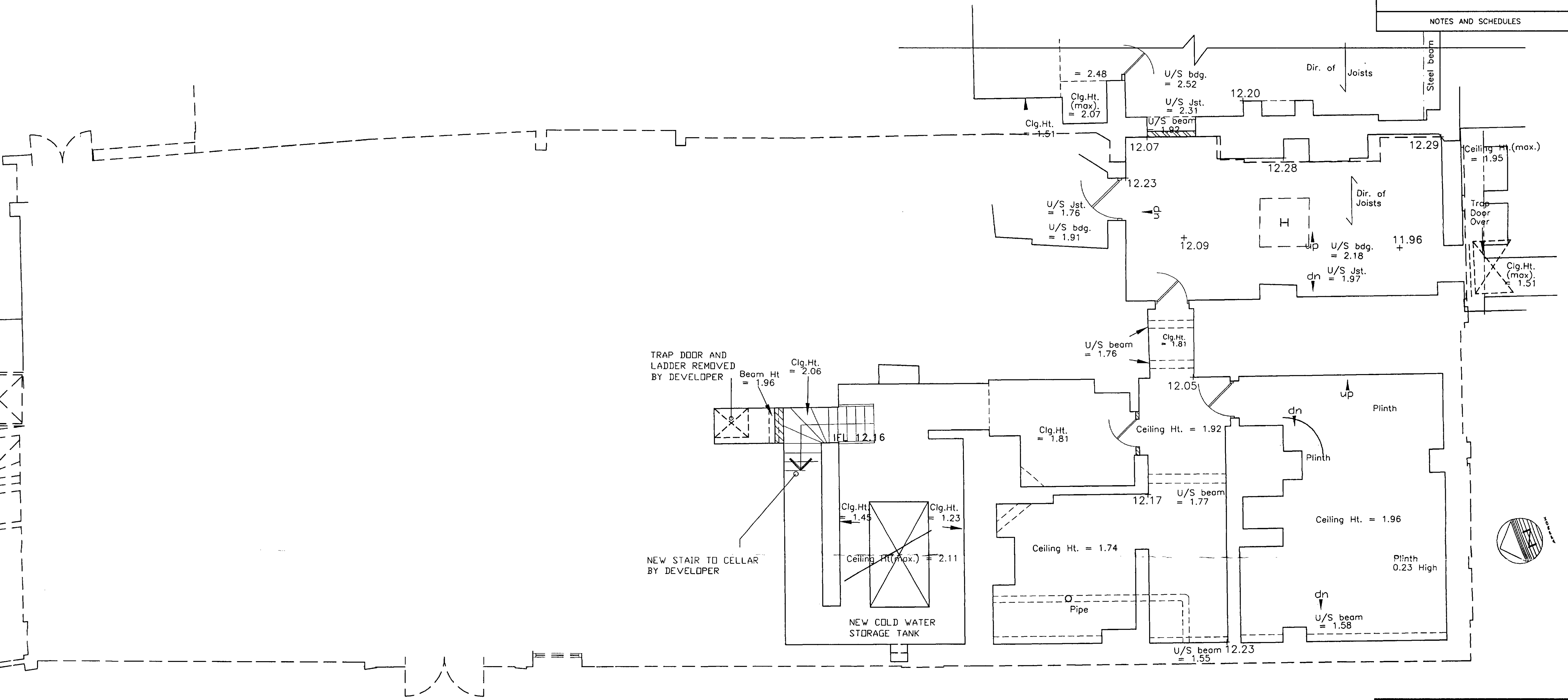
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Drawing No. 925/30 Revision B

CONSTRUCTION ISSUE

Letter	Revisions	Date
B	BOILER AND FLUE REMOVED	18/9/98
A	WATER SOFTENER AREA REMOVED	3/9/98

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NOTES AND SCHEDULES



**NICHOLSON**

PARTNERSHIP

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Rickmansworth, Herts WD3 1ER  
Telephone: 01923 896178  
Fax: 01923 896167

Architects . Designers . Planners

Client  
J.D. WETHERSPOON Plc.

Project  
THE DOLPHIN & ANCHOR  
WEST STREET  
CHICHESTER, W. SUSSEX

Title  
PROPOSED BASEMENT  
PLAN

Scale 1:50 Date JULY 98

Drawn NB Checked

CAD File: D:/925/925-30.dwg

CONSTRUCTION ISSUE

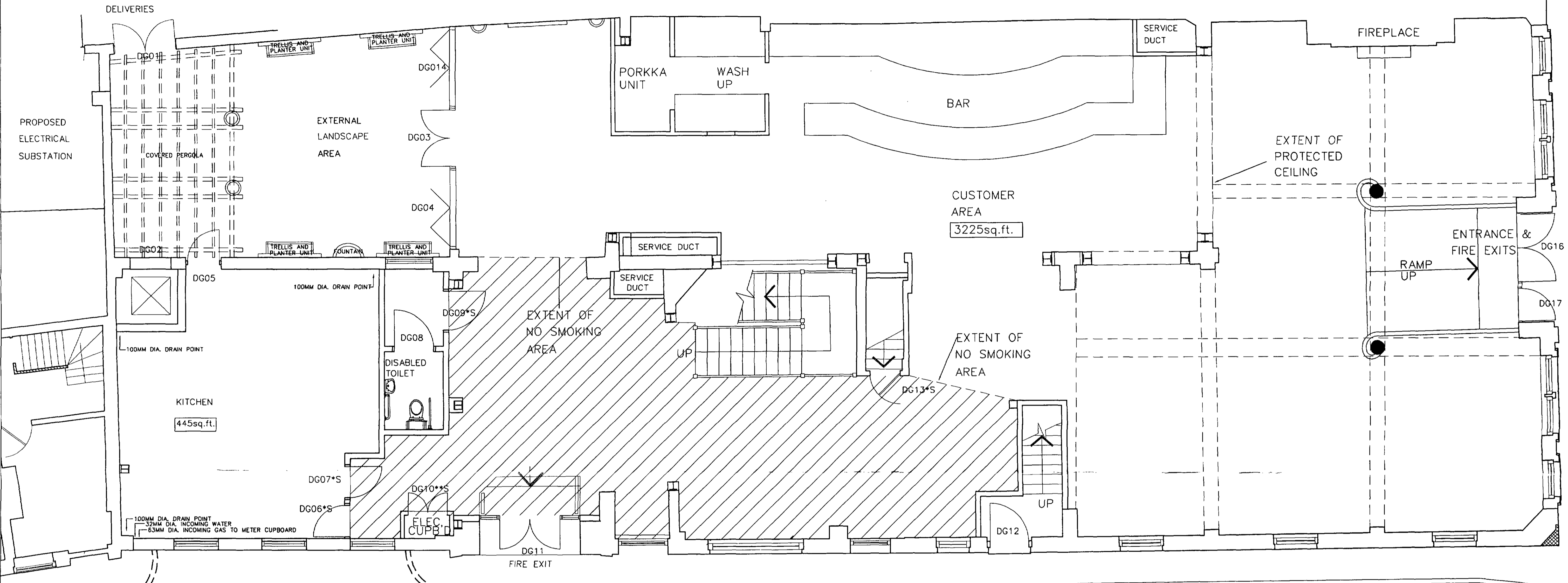
Letter	Revisions	Date
B	BOILER AND FLUE REMOVED	18/9/98
A	WATER SOFTENER AREA REMOVED	3/9/98

Drawing No.	Revision
925/30	B



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NOTES AND SCHEDULES



- NOTES AND SCHEDULES
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  - NEW STEELWORK GENERALLY TO BE CASED IN EML & 16mm GYPSUM PLASTER SYSTEM, OR OTHER APPROVED, TO PROVIDE 1 HR. FR.
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  - TO CUSTOMER AREA - CAVITY BARRIER TO BE INSTALLED WITHIN THE SUSPENDED CEILING VOID ACROSS THE UNIT (POSITION TO BE CONFIRMED BY ARCHITECT) IN 100mm ROCKWOOL CAVITY BARRIER SYSTEM FIXED BETWEEN U/S OF STRUCTURAL CEILING & SUSPENDED CEILING.
  - DPC'S TO BE PROVIDED TO ALL HORIZONTAL & VERTICAL, EXTERNAL DOOR & WINDOW OPENINGS. DPC'S TO BE PERMABIT "HYLOAD", OR SIMILAR APPROVED TO:-  
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BS 8215 - 1991  
BS 8000 - PL. 3 - 1989
  - ALL DOORS TO HAVE 900mm STRUCTURAL OPENINGS UNLESS OTHERWISE DIMENSIONED
  - ALL INTERNAL WALLS TO BE 100mm BLOCKWORK UNLESS OTHERWISE NOTED

K	STEP TO FIRE EXIT ADDED ELECTRICAL CUPBOARD ENLARGED	5/1/99
J	PERGOLA CONSTRUCTION REVISED DOOR DG15 REMOVED	16/11/98
H	REVISED AS DAG : PORKKA UNIT ADDED	6/10/98
Plans Frozen As DAG 1 30/9/98		
G	NEW STAIR TO FIRST FLOOR TOILETS WASH-UP AREA AMENDED COLUMNS BOXED LANDSCAPED AREA FEATURES INDICATED	17/9/98
D	DOOR NUMBERS ADDED, BAR PLAN AMENDED	070898
C	PROTECTED CEILING AMENDED & BEAMS SHOWN DOTTED IN LISTED CEILING AREA	300798
B	ELECTRICAL CUPBOARD REPOSITIONED STEP ADDED NEAR NEW ELEC. CUPB'D	160798
A	SERVICES POINT SHOWN IN KITCHEN	100798
Letter	Revisions	Date

**NICHOLSON**  
PARTNERSHIP

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Rickmansworth, Herts WD3 1ER  
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Fax: 01923 896167

Architects . Designers . Planners

---

Client  
J.D. WETHERSPOON Plc.

---

Project  
THE DOLPHIN & ANCHOR  
WEST STREET  
CHICHESTER, W. SUSSEX

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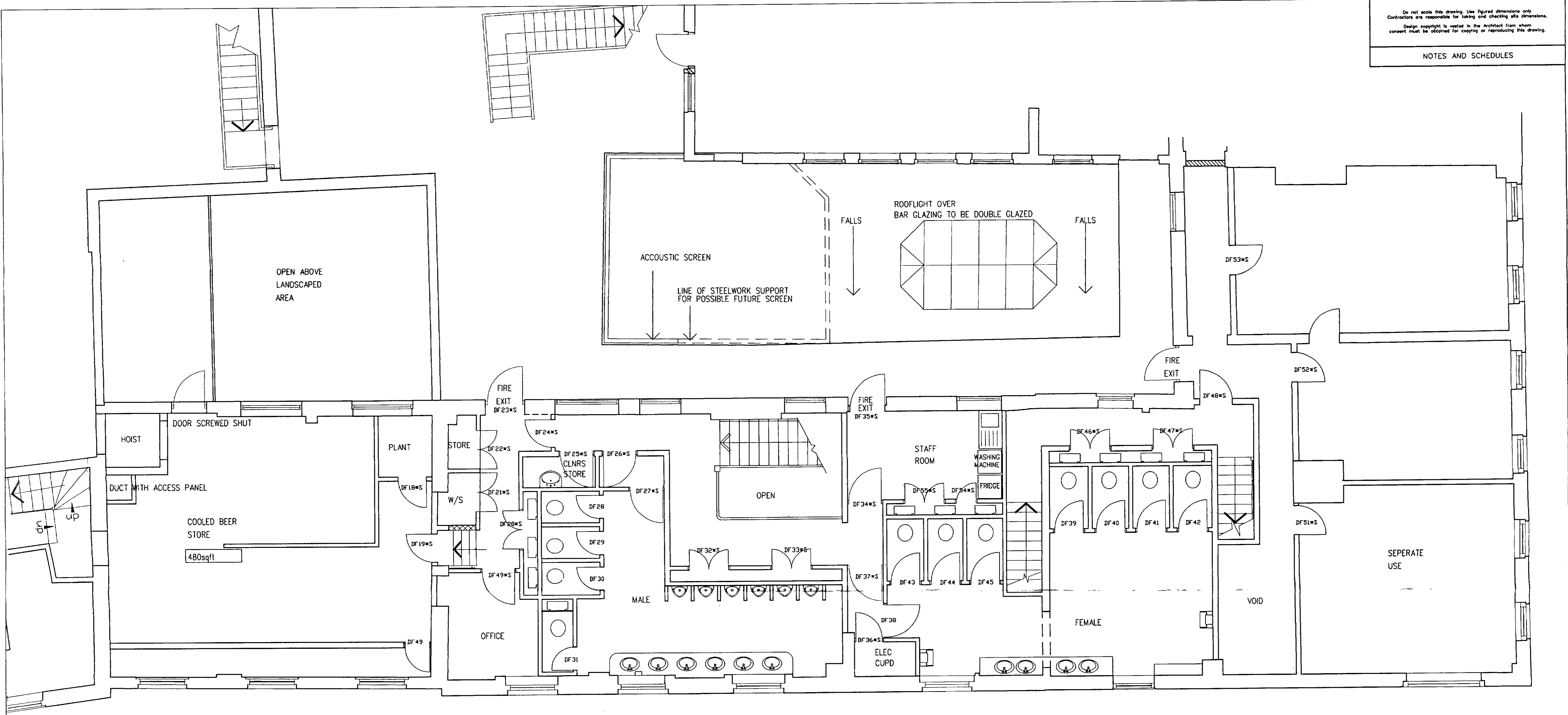
Title  
PROPOSED GROUND  
FLOOR PLAN

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Scale	1:50	Date	MAY 98
Drawn	NB	Checked	
CAD File:	D:/925/925-40.dwg		
Drawing No.	925/40	Revision	K

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NOTES AND SCHEDULES

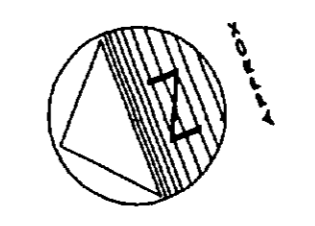


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Rickmansworth, Herts WD3 1ER  
Telephone: 01923 896178  
Fax: 01923 896167

Architects . Designers . Planners

Client	J.D. WETHERSPON Plc.	
Project	THE DOLPHIN & ANCHOR WEST STREET CHICHESTER, W. SUSSEX	
Title	PROPOSED FIRST FLOOR PLAN	
Scale	1:50	Date MAY 98
Drawn	NB	Checked
CAD File:	D:/925/925-50.dwg	
Drawing No.	925/50	Revision T

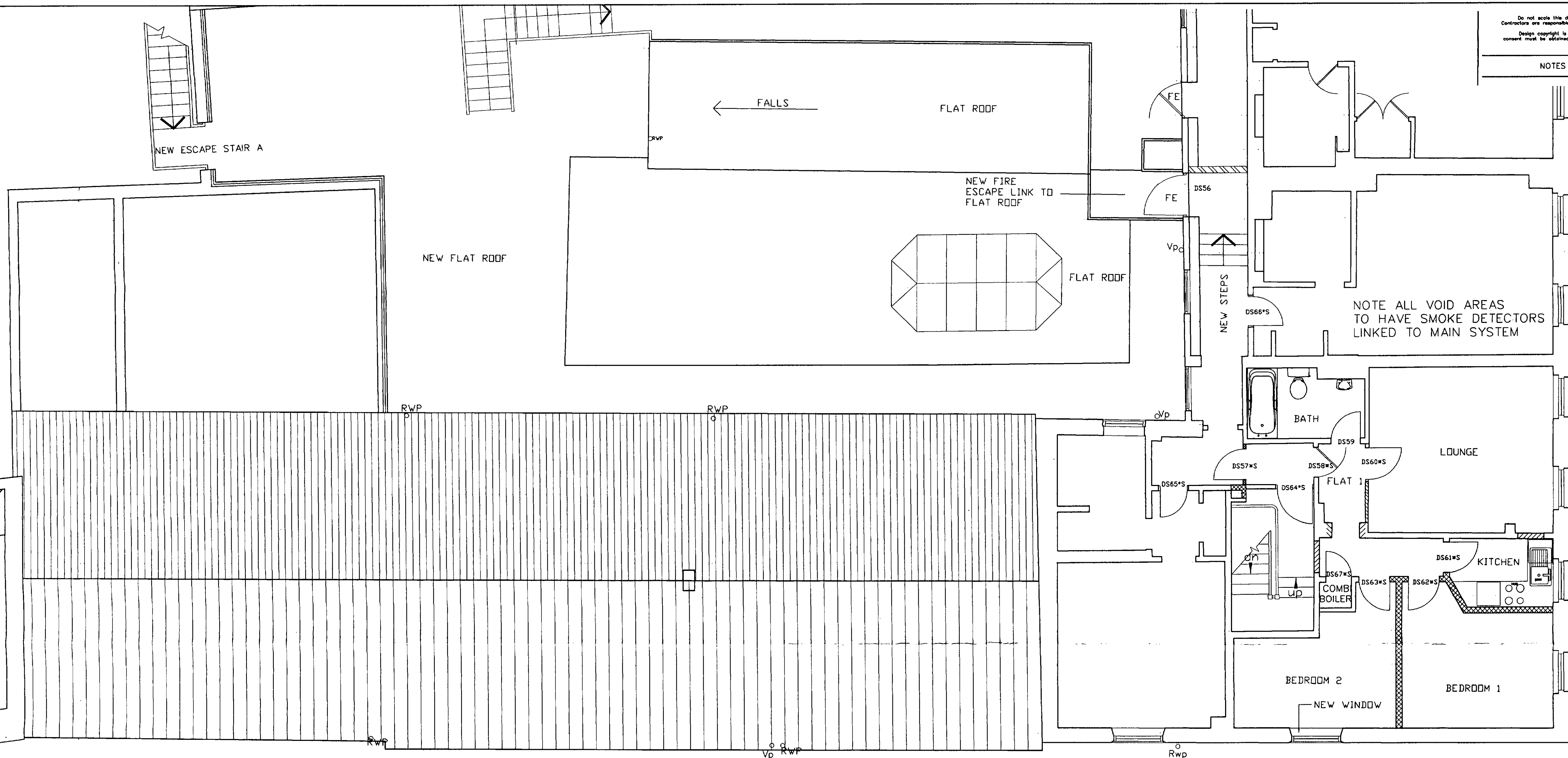
Letter	Revisions	Date
T	ROOF LIGHT SHAPE AMENDED	14/1/99
S	RAISED FLOOR ADDED TO FEMALE TOILET SITE FOR ACCOUSTIC SCREEN INDICATED ELECTRICAL CLIPBOARD ENLARGED	5/1/99
R	CLEANERS CLIPBOARD ADDED TO FEMALE TOILET	15/12/98
O	ACCOUSTIC SCREEN REVISED	11/12/98
P	DOOR IN COOLED BEER STORE REMOVED POSITION OF ACCOUSTIC SCREEN INDICATED DOOR NUMBERS REVISED	23/11/98
N	DAD 2 REVISION: OFFICE REPOSITIONED	11/11/98
M	FEMALE TOILET LAYOUT REVISED	9/11/98
L	DOOR NUMBERS REVISED	30/10/98
K	COOLED BEER STORE REVISED	26/10/98
J	DOOR No.s ADDED	23/9/98
H	TOILET AREAS REVISED	17/9/98
G	MALE TOILET REVISED	10/9/98
F	LAYOUT REVISED	9/9/98
C	TOILETS REVISED	12/8/98
B	WINE/SPIRITS STORE, STAFF ROOM & PLANT ROOM ADDED, FLUE ADDED AND MINOR AMENDMENTS TO WALLS	15/07/98
A	DOOR FROM FEMALE LOBBY TO FIRE EXIT ADDED	29/10/97





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NOTES AND SCHEDULES



NOTE ALL VOID AREAS  
TO HAVE SMOKE DETECTORS  
LINKED TO MAIN SYSTEM

WEST STREET

CHAPEL STREET

A FLAT 2 REMOVED DOOR NoS ADDED 30/10/98

Letter	Revisions	Date

**NICHOLSON**  
PARTNERSHIP

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Rickmansworth, Herts WD3 1ER  
Telephone: 01923 896178  
Fax: 01923 896167

Architects . Designers . Planners

Client  
J.D. WETHERSPOON Plc.

Project  
THE DOLPHIN & ANCHOR  
WEST STREET  
CHICHESTER, W. SUSSEX

Title  
PROPOSED SECOND  
FLOOR PLAN

Scale 1:50 Date JULY 98

Drawn NB Checked

CAD File: D:/925/925-60.dwg

Drawing No.	Revision
925/60	D

D DETAILS TO FLAT ADDED, ACOUSTIC FLOOR  
REMOVED 8/1/99  
A FIRE COMPARTMENTATION DOORS ADDED 2/12/98

*File CC/98/00398/FTP*

CITY OF



CHICHESTER

CHICHESTER CITY COUNCIL

The Council House, North Street, Chichester, West Sussex PO19 1LQ

Telephone: 01243 788502  
Fax: 01243 773022

Town Clerk:  
E. D. SAUNDERS

3 April, 1998

*JS*



Dear Sir,

**LISTS 10, 11, 12 and 13**

I enclose herewith extracts from the minutes of the Planning and Conservation meeting held on 1 April 1998.

Yours faithfully,

E.D. Saunders  
**TOWN CLERK**

CC/98/00398/FUL - Wessex Land and Estates Ltd. The Dolphin & Anchor Development, West Street, Chichester, West Sussex, PO19 1YE. Conversion of existing hotel into 4 retail units. Units 2, 3 and 4. A1 retail use and one residential unit. (minor alterations to West Street and Chapel Street and internal alterations) **Approve**

A.J. Howes, Esq.,  
Director of Planning & Strategic Services,  
Chichester District Council,  
East Pallant House,  
Chichester,  
West Sussex.

Recommendation Preview

Application: CC/98/00398/FUL

Recommendation: PERMIT

Decision Type: Delegated Decision

1) A01 The development hereby permitted shall be begun before the expiration of 5 years from the date of this permission.

Reason: To comply with Section 91 of the Town and Country Planning Act 1990.

2) B01 There shall be no departure from the submitted plans without the prior written consent of the District Planning Authority.

Reason: To secure satisfactory development.

3) No development shall be carried out unless and until a schedule of materials and finishes (including colours) and, where so required by the District Planning Authority, samples of such materials and finishes to be used for external walls and roofs of the proposed building(s) and where appropriate surfacing materials have been submitted to and approved by the District Planning Authority.

Reason: To enable the District Planning Authority to control the development in detail in the interests of amenity and to ensure a building of visual quality.

4) F04C Any walling shall conform with a sample panel of brickwork and mortar treatment which shall be erected on site and approved in writing by the District Planning Authority before work to walling is commenced and shall be maintained as approved unless any variation has been agreed in writing by the District Planning Authority.

Reason: To preserve the special character of the building for the future.

5) G11 The Developer shall arrange for an archaeological organisation or appropriately qualified archaeologists to observe the excavations and record archaeological evidence that may be uncovered as a result of the development.

Reason: The site is potentially of archaeological interest.

6) Before the development hereby permitted is first occupied the footway in Chapel Street shall be reinstated in accordance with a scheme to be submitted to and approved by the District Planning Authority.

Reason: In the interests of amenity and road safety.

7) D19B No raw materials, finished or unfinished products or parts, crates, packing materials or waste shall be stacked or stored on the site except within the buildings or storage areas at any time approved by the District Planning Authority.

Reason: To safeguard the amenities of neighbouring properties.

8) The premises shall be used only for the purposes within Use Class A1 as defined in the Town and Country Planning (Use Classes) Order, 1987, except for Unit 1 which may also be used for purposes within A3 and for the proposed residential unit.

Reason: To comply with the terms of the application and to protect the amenities and character of the area.

9) The seating area of the restaurant in unit 1 shall not exceed 307.5 square metres as shown on the deposited drawing 8773/P/2e without a further grant of planning permission from the District Planning Authority.

Reason: In compliance with the Councils adopted vehicle parking standards.

10) The building hereby permitted shall not be occupied until space has been laid out in accordance with details approved by the District Planning Authority for the turning, loading and unloading of vehicles and the parking for 4 vehicles and 8 cycles to the required standard clear of the public highway and such space shall not thereafter be used other than for the purposes for which it is provided.

Reason: In the interests of road safety and to accord with approved policy.

11) No development shall be carried out unless and until full details of all new windows, doors, surrounds to openings where applicable, rainwater goods and all new elevational details including glazing, fascias, pilaster and shop front detailing, stairs, conservatory roof over carriageway and columns supporting the arches between Unit 3 and the yard together with paving details of the yard area have been submitted to and approved by the District Planning Authority. Such details shall take the form of plans, elevations and sections to a scale of not less than 1:5.

Reason: In the interests of amenity and the character and appearance of the Listed Building.

12) Prior to the first occupation of the building the Dolphin Emblems on the front sections of the roof of the building shall be cleaned of their existing paint and finished in gold leaf to the satisfaction of the District Planning Authority.

Reason: In the interests of amenity and the character and appearance of the Listed Building.

13) No external lighting or floodlighting shall be installed without the grant of planning permission (and, if necessary, listed building consent) from the District Planning Authority.

Reason: In the interests of amenity.

14) Before the first occupation of the dwelling shown on plan 8773/P/2~~e~~ as "cottage" a detailed scheme of sound proofing and noise insulation for the dwelling shall be submitted to and approved by the District Planning Authority and shall then be fully implemented.

Reason: To ensure the dwelling does not suffer unreasonable noise.

15) The A3 use hereby granted permission shall not be carried on unless and until details of the odour/air extraction system(s) have been submitted to and agreed in writing by the District Planning Authority. The details shall include the position and design of the kitchen extract flue and filters, and also the ventilation/air conditioning of the restaurant and ancillary areas, and all other necessary details. The equipment shall be installed and in full working order to the satisfaction of the District Planning Authority prior to the commencement of the use and for as long as the use continues shall be operated in such a manner as to suppress effectively the emission of fumes and smell.

Reason: In the interests of amenity.

16) The A3 use hereby permitted shall only be used by customers between the hours of 10:00am and 12:00 midnight with last orders being taken before 11:00pm. The use shall be vacated by all customers and public by 12:00 midnight.

Reason: In the interests of amenity.

#### INFORMATIVE

The Environmental Health Officer has requested:

(1) Details of ventilation to bin storage areas.

(2) Lift facilities for units 2 and 4. (Note: Installation of lifts may require a further grant of Listed Building Consent).

# PROPOSED DEVELOPMENT

NOTICE UNDER SECTIONS 65 OF THE TOWN AND COUNTRY PLANNING ACT 1990 AND THE TOWN AND COUNTRY PLANNING (GENERAL DEVELOPMENT PROCEDURE) ORDER 1995.

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## NOTICE OF APPLICATION FOR PLANNING PERMISSION

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NOTICE IS HEREBY GIVEN that an application has been made to Chichester District Council for the following description of development:

### REFERENCE:

(C) CC/98/00398/FUL

### PROPOSAL:

Conversion of existing hotel into 4 retail units. Units 2,3 & 4. A1 retail use and one residential unit. (minor alterations to West street and Chapel street and internal alterations).

### LOCATION:

The Dolphin And Anchor Development, West Street Chichester West Sussex PO19 1YE

The application and plans may be inspected at the Planning and Building Control Department, East Pallant House, East Pallant Chichester between 8.45am and 5.10pm Mondays to Thursdays and between 8.45am and 5.00pm Fridays. In addition for applications north of the Downs plans are available for inspection at the Council Offices at Midhurst [applications marked (M)] and Petworth [applications marked (P)] between 9.00am and 12.30pm and 1.30pm and 4.30pm Mondays to Thursdays and between 9.00am and 12.30pm and 1.30pm and 4.00pm Fridays.

Any representations should be made to the address below by not later than 26.03.98. Please note that the Council does not acknowledge receipt of your letter but you will be notified of the decision.

A J Howes BA;DipLP;MRTPI  
Director of Planning and Strategic Services  
East Pallant House  
East Pallant  
CHICHESTER PO19 1TY



**CHICHESTER DISTRICT COUNCIL**  
**DISTRICT PLANNING OFFICE**  
Case Officer's Sheet

1. SITE VISIT

Note: Describe the site and any uses and/or buildings on it. Note materials used, the presence of any trees, and what forms the boundaries of the site. Note the position of any windows and the relationship to the neighbours. Note any changes in levels, and describe access/visibility and parking.

*description. A3 now A1 ?? No - See amending letter 26.3.98*

*Pl. see my site notes on ce/98/226/LBC attached  
- approved by SRC under delegated powers on 26.3.98.*

*This application is identical to ce/98/226/LBC as far as  
the alterations to West St & Chapel St. are concerned.*

Note any relevant conversation with applicant on site.

---

2. PLANNING ISSUES

Relevant policies: *Conservation Area, Standards Policy 501*

Summary of issues: *Whether amendments proposed are acceptable*

Matters to be negotiated: *None*

Your conclusions: *Amendments acceptable in my opinion  
- See also B. Dawson's comments on ce/98/226/LBC  
Same conditions imposed as for ce/97/872/FA (see copy  
at back of this file)*

PERMIT

Initials: *JH*

Date of visit: *5.3.98 (and 20.2.98)*

NOTE FOR GENERAL PUBLIC : The observations expressed on this sheet are the personal views of the Case Officer concerned and are in no way binding on either the Council or its senior officers when making a decision on the application.

PLANNING APPLICATION CHECK SHEET  
CONSTRAINTS

APPLICATION NO: CC/98/00398/FUL

PLOTTING SHEET NO: 28

Reception Screen

Ward CCS  
Conservation Area Chichester  
Listed Building Grade Grade II Listed Building

Consultations Screen

Special Publicity Publication Date 12th March 1998  
(if required) Expiry Date 2nd April 1998

Forward Planning Screen 1

Grid Reference East 486015.000 North 104850.000

Constraints Screen

Screen 1

Ancient Monument NO  
Archaeological Area NO  
Nature Conservation Site NO  
SSSI NO  
Rights of Way  
Trunk Roads  
Classified Road C455  
Tree Preservation Order  
Article 4 Directions A4/47  
Historic Parks and Gardens NO

Screen 2

Contaminated Land NO  
Waste Disposal NO  
Haz Inst and Pipelines NO  
Mineral Safeguarding NO  
Airport Safeguarding NO  
Water Authority Def. Area NO Name

Screen 4

Settlement Policy Area YES  
A.O.N.B. NO  
ASC Adverts YES  
Glasshouse Policy YES  
Coastal Footpath NO  
Strategic Gap NO  
Nature Reserve NO  
Harbour Conservancy NO  
(AONB Area)  
Adjoining Authority



minor internal alterations to approved drawings plan No. CC/97/00873/LBC.

- [DC 97/01535/COU ] [Change of use from coffee bar within the hotel to a self-contained A3 unit for a temporary period. ] [WDN ] [10.07.1997] [22.08.1997]
- [DC 97/00873/LBC ] [Internal and external alterations in connection with conversion of hotel including partial demolition and rebuilding into four A1 retail units (alternatively A3 Use Unit 1, Units 2, 3 and 4 A1 Retail Use) and one residential unit. ] [PER ] [23.04.1997] [15.09.1997]
- [DC 97/00872/FUL ] [Conversion of existing hotel into four A1 retail units. In the alternative A3 Use Unit 1, Units 2, 3 and 4 A1 Retail Use and one residential unit. ] [PER ] [23.04.1997] [15.09.1997]
- [DC 93/01648/LBC ] [New externally illuminated and non illuminated signs to replace or in addition to existing signs on west and Chapel Street elevations and in the car park and courtyard areas. ] [PER ] [23.09.1993] [24.11.1993]
- [DC 93/01647/ADV ] [New externally illuminated and non illuminated signs to replace or in addition ] [PER ] [23.09.1993] [24.11.1993]

to existing signs on west and Chapel Street elevations and in the car park and courtyard areas.

- [DC 93/01029/LBC ] [Display of illuminated & ] [REF ] [16.06.1993][12.08.1993  
non-illuminated 14 no.  
wall mounted & 2 no.  
hanging signs, together  
with refurbished  
non-illuminated hanging  
sign-to be displayed on  
West St & Chapel St  
elevations and within  
rear car park entrance &  
courtyard.
- [DC 93/01028/ADV ] [Display of illuminated & ] [REF ] [16.06.1993][12.08.1993  
non-illuminated 14 no.  
wall mounted & 2 no.  
hanging signs, together  
with refurbished  
non-illuminated hanging  
sign-to be displayed on  
West St & Chapel St  
elevations and within  
rear car park entrance &  
courtyard.
- [DC 93/00473/LBC ] [To fit 5 off canopies in ] [REF ] [23.03.1993][04.05.1993  
green stripe acrylic  
canvas over front  
elevation windows. The  
canopies to be  
retractable and  
framework to be  
powdercoated with forte  
heritage green to match  
forte heritage green  
canvas.
- [DC 93/00472/FUL ] [5 off canopies in green ] [REF ] [23.03.1993][04.05.1993  
stripe acrylic canvas  
and retractable, over

front elevation windows.

Framework to be  
powdercoated forte  
heritage green.

F6	Property Menu	F7	Property Details	F8	History Details	F10	DC	PRINTMEN
Gold F6	Main Menu	F7	Property Corresp.	F8	Related Properties	F10		
F6	Gold F6 F7	Gold F7 F8	Gold F8 F9	Gold F9 F10	Gold F10			





# CHICHESTER DISTRICT COUNCIL

## TOWN AND COUNTRY PLANNING ACT 1990

### APPLICATION FOR PLANNING PERMISSION

(6 copies of this form required, together with plans and appropriate fee)

FOR OFFICIAL USE ONLY

Application No: CP/98/00398/TUL

Date Received: 24/2/98

IT IS IMPORTANT THAT YOU READ THE GUIDANCE NOTES AS INCORRECT COMPLETION INVOLVES DELAY

<p>1. Applicant (in BLOCK CAPITALS)</p> <p>Name: <u>WESSEX LAND AND ESTATES LTD</u></p> <p>Address: <u>PILTON HOUSE PILTON</u> <u>SHEPTON MALLET</u> <u>SOMERSET BA4 4DD</u></p> <p>Telephone Number: .....</p>	<p>Agent (if any) to whom correspondence should be sent (in BLOCK CAPITALS)</p> <p>Name: <u>THE LOUIS DE SAISSONS PARTNERSHIP</u></p> <p>Address: <u>SHOOT LODGE</u> <u>WANDON GREEN</u> <u>BEDFORDSHIRE LU2 8PH</u></p> <p>Telephone Number: <u>01438 833003</u></p>																			
<p>2. Type of Application (see Note 2):</p> <p>(a) Full planning permission (including change of use) <span style="float:right">State Yes or No</span> <input checked="" type="checkbox"/> YES</p> <p>(b) Outline planning permission <span style="float:right">State Yes or No</span> <input type="checkbox"/> NO</p> <p>(c) Approval of Reserved Matters <span style="float:right">State Yes or No</span> <input type="checkbox"/> NO</p> <p>(d) Renewal of Temporary Permission <span style="float:right">State Yes or No</span> <input type="checkbox"/> NO</p> <p>(e) Permission to develop land or for retention of building or continuance of use without complying with a condition imposed on a planning permission <span style="float:right">State Yes or No</span> <input type="checkbox"/> NO</p>	<p>If yes, state those matters to which this application relates: Tick where Appropriate</p> <table style="width:100%;"> <tr><td>(i) Siting</td><td><input checked="" type="checkbox"/> YES</td></tr> <tr><td>(ii) Design</td><td><input checked="" type="checkbox"/> YES</td></tr> <tr><td>(iii) External appearance</td><td><input checked="" type="checkbox"/> YES</td></tr> <tr><td>(iv) Means of access</td><td><input type="checkbox"/> N/A</td></tr> <tr><td>(v) Landscaping of the site</td><td><input type="checkbox"/> N/A</td></tr> </table> <p>If yes, state the date and number of the permission and where appropriate, outline the particular condition:</p> <p>Date: .....</p> <p>Application Number: .....</p> <p>Condition Number: .....</p>	(i) Siting	<input checked="" type="checkbox"/> YES	(ii) Design	<input checked="" type="checkbox"/> YES	(iii) External appearance	<input checked="" type="checkbox"/> YES	(iv) Means of access	<input type="checkbox"/> N/A	(v) Landscaping of the site	<input type="checkbox"/> N/A									
(i) Siting	<input checked="" type="checkbox"/> YES																			
(ii) Design	<input checked="" type="checkbox"/> YES																			
(iii) External appearance	<input checked="" type="checkbox"/> YES																			
(iv) Means of access	<input type="checkbox"/> N/A																			
(v) Landscaping of the site	<input type="checkbox"/> N/A																			
<p>3. (a) Full Address or Location of the land to which this application relates: <u>DOLPHIN AND ANCHOR HOTEL</u> <u>5-9 WEST STREET CHICHESTER WEST SUSSEX</u></p> <p>(b) State whether applicant owns or controls any adjoining land <span style="float:right">State Yes or No</span> <input checked="" type="checkbox"/> NO <span style="float:right">If yes the land must be edged blue on the location plan</span></p> <p>(c) Area of site <u>1.885</u> <span style="float:right">Hectares/Square metres</span> Dimensions of the application site and distances from new buildings to boundaries must be clearly indicated on plans.</p> <p>(d) Description of proposed development: <u>Conversion of existing hotel into four A1 retail units. In no alternative as use unit 1, units 2, 3 and 4 A1 Retail Use and one residential unit (minor alterations to west street and chapel street elevations.</u></p> <p>(e) State whether the proposal involves:</p> <table style="width:100%;"> <tr> <td>(i) New building(s) or structure(s)</td> <td><input type="checkbox"/></td> <td>access to a highway</td> <td>Pedestrian</td> <td><input type="checkbox"/> NO</td> </tr> <tr> <td>(ii) Alteration or extension of building(s)</td> <td><input checked="" type="checkbox"/> YES</td> <td>(v) Closure of existing access</td> <td></td> <td><input type="checkbox"/> NO</td> </tr> <tr> <td>(iii) Construction of a new access to a highway</td> <td rowspan="2"><input type="checkbox"/> NO</td> <td rowspan="2">} Vehicular</td> <td rowspan="2">} Pedestrian</td> <td rowspan="2"><input type="checkbox"/> NO</td> </tr> <tr> <td></td> <td>(vi) Change of use only</td> <td></td> <td><input type="checkbox"/> NO</td> </tr> </table> <p>(f) MATERIALS: State Materials to be used in the proposed development <u>RENDERING AND BRICKWORK TO MATCH EXISTING</u></p>		(i) New building(s) or structure(s)	<input type="checkbox"/>	access to a highway	Pedestrian	<input type="checkbox"/> NO	(ii) Alteration or extension of building(s)	<input checked="" type="checkbox"/> YES	(v) Closure of existing access		<input type="checkbox"/> NO	(iii) Construction of a new access to a highway	<input type="checkbox"/> NO	} Vehicular	} Pedestrian	<input type="checkbox"/> NO		(vi) Change of use only		<input type="checkbox"/> NO
(i) New building(s) or structure(s)	<input type="checkbox"/>	access to a highway	Pedestrian	<input type="checkbox"/> NO																
(ii) Alteration or extension of building(s)	<input checked="" type="checkbox"/> YES	(v) Closure of existing access		<input type="checkbox"/> NO																
(iii) Construction of a new access to a highway	<input type="checkbox"/> NO	} Vehicular	} Pedestrian	<input type="checkbox"/> NO																
					(vi) Change of use only		<input type="checkbox"/> NO													

4. Particulars of Use of Buildings or Land - State: (a) Present use **VACANT**  
 (b) If vacant, the last use **HOTEL**

5. **Additional Information:**

- (a) Is the application for Industrial, Office, Warehousing, Storage, Shopping, Commercial purposes or places of public assembly? [see Note 5]  **N/A** If yes, complete Part 2 of form CP.1
- (b) Is the application for the winning or working of Minerals?  **No** If yes, complete Part 4 of form CP.1
- (c) Is the application for an Agricultural dwelling or building?  **No** If yes, complete Part 6 of form CP.1
- (d) Does the proposed development involve the demolition of any residential units?  **No** If yes, how many units? Please indicate their positions on plans
- (e) Does the proposed development involve the felling of any trees?  **No** If yes, indicate their position on plans
- (f) Does the proposed development involve any public right of way within the site?  **No** If yes, indicate the position on plan
- (g) Does the proposed development involve demolition or alteration of a building of Special Architectural or Historic interest or demolition within a Conservation Area?  **YES** If yes, a separate application for: **Listed Building Consent** or **Conservation Area Consent** may be necessary

	Existing	Proposed
(h) (i) How will surface water be disposed of?	<b>MAINS</b>	<b>AS EXISTING</b>
(ii) How will foul sewage be disposed of? (e.g. Mains, Cesspit etc.)	<b>MAINS</b>	<b>AS EXISTING</b>

6. **Plans** (see Note 6). List of drawings and plans submitted as part of the application - indicate drawing numbers and scales. 6 Sets of all drawings are required. Additional copies in respect of major applications will assist in determination of such applications. Fully dimensioned drawings would be of assistance.  
**8773. P. 1b, 2f, 3d, 4c, 5d, 6b, 7e, 8c, 9c } 1:100 scale**

7. **Fees** (see Note 7). If a fee is submitted please give the amount £ ..... (Please complete & return a fee form)

8. I/WE APPLY FOR PLANNING PERMISSION AS DETAILED ABOVE  
 SIGNED **[Signature]** DATE **27-1-98**  
 on behalf of **WESSER LAND AND ESTATES LTD.**  
 (insert applicant's name if signed by an agent)

9. **Certificate under Section 68** of the Town and Country Planning Act 1990 and Article 7 of the Town & Country Planning (General Development Procedure) Order 1995.  
**N.B.** A signed certificate **MUST** accompany this application (see Note 9). If the applicant is the sole owner (a) the following certificate should be completed and signed.

**CERTIFICATE A**

(a) Owner means a person having a free hold interest or a tenancy the unexpired term of which was not less than seven (7) years.

**CERTIFICATE A (a)** I certify that:-

1. At the beginning of the period of 21 days ending with the day of the accompanying application nobody, except the applicant, was the owner of any part of the land to which the application relates.

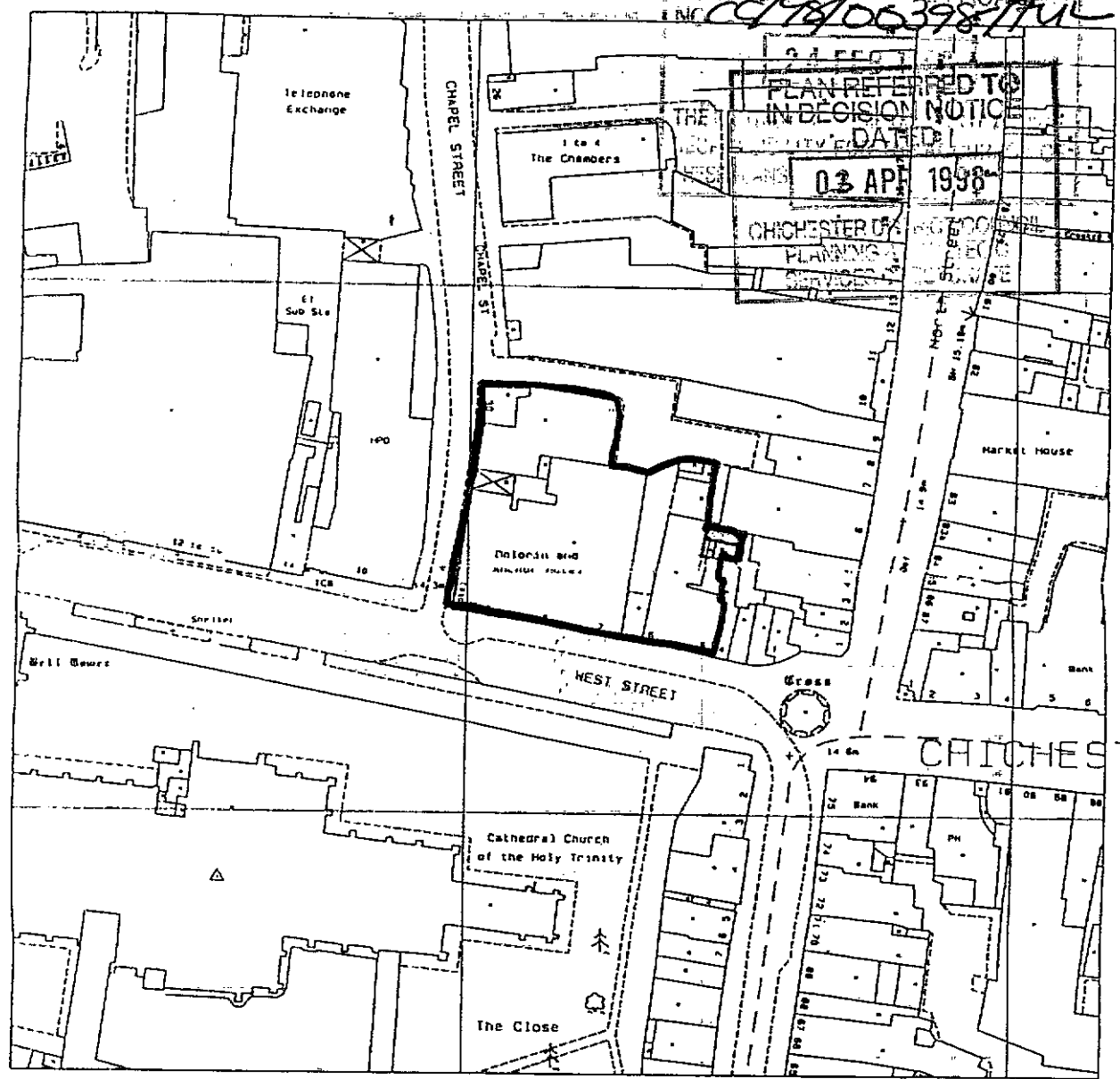
\* 2. None of the land to which the application relates is or is part of an Agricultural holding.

~~\* 3. I have / \* The Applicant has given the required notice to every person other than \* myself / \* himself / \* herself who, at the beginning of the period of 21 days ending with the date of the application was a tenant of any Agricultural holding on all or part of the land to which the application relates as follows. (Delete where inappropriate \*)~~

Name of Tenant	Address	Date of Service Notice
SIGNED <b>[Signature]</b>		
On behalf of <b>WESSER LAND AND ESTATES LTD.</b>		Date: <b>27-1-98</b>

CHICHESTER DISTRICT COUNCIL  
PLANNING & STRATEGIC SERVICES DIRECTORATE  
PLAN REFERRED TO IN APPLICATION  
NO. **CC/98/00398/TU**

PLAN REFERRED TO  
IN DECISION NOTICE  
DATED  
**03 APR 1998**  
CHICHESTER DISTRICT COUNCIL  
PLANNING & STRATEGIC SERVICES



Plotted 11 Jul 1996 from Ordnance Survey digital data and incorporating surveyed revision available at this date © Crown Copyright 1996

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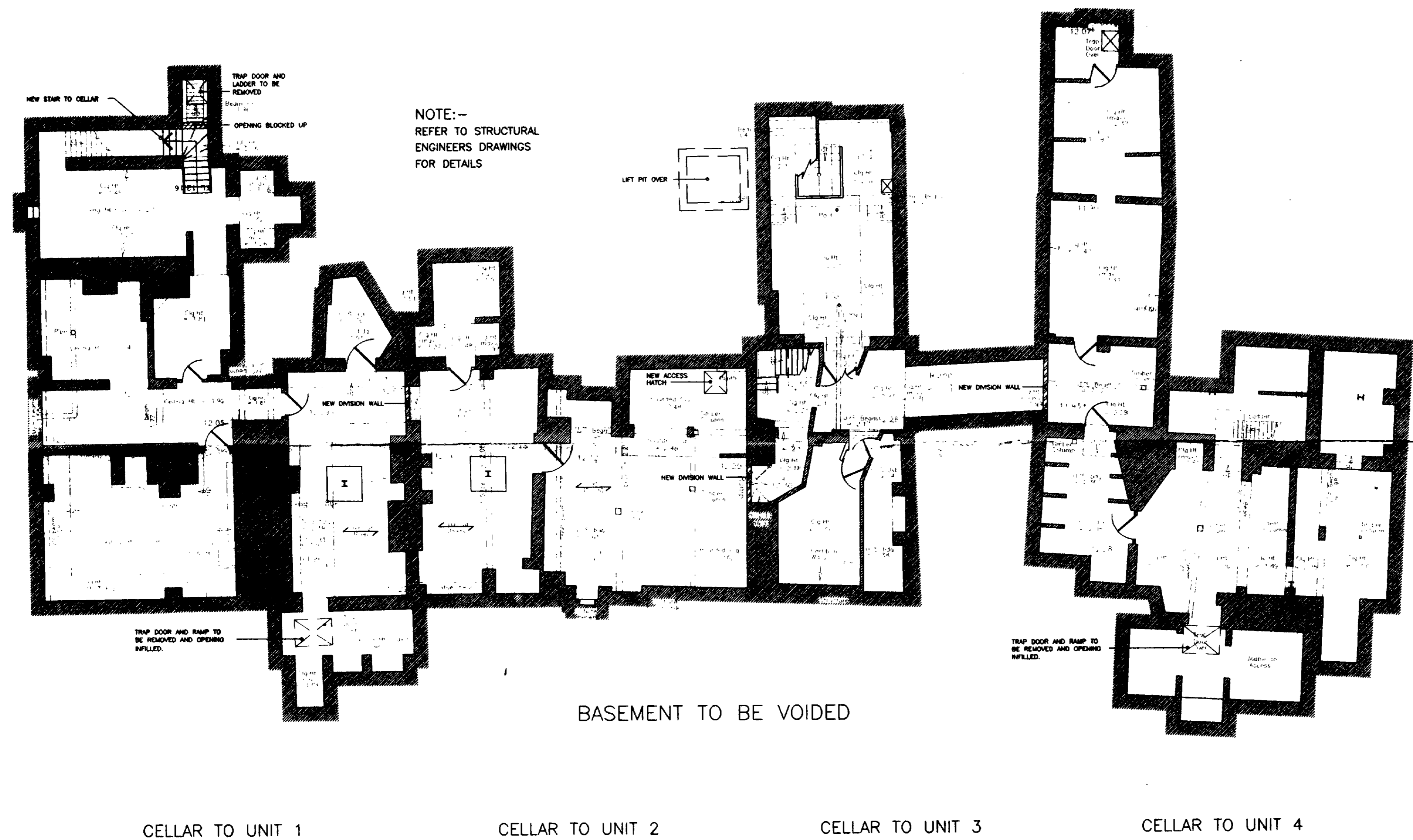
Superplan plots are sold subject to Ordnance Survey Terms & Conditions of Sale, available on request

This Superplan Plot does not contain all recorded map information

Scale 1: 1250

National Grid sheet reference at centre of this Superplan SUB604NW

Plot Centre Coordinates 486017 104851  
Supplied by Stanfords, London WC2



NOTES

24 FEB 1998

PLAN REFERRED TO IN DECISION NOTICE DATED 03 APR 1998

THE DISTRICT COUNCIL DOES NOT ACCEPT LIABILITY FOR THE ACCURACY OF THIS PLAN

Amendments

A	PLANNING AMMENDMENTS	14 8 97
B	GENERAL AMMENDMENTS	23 1 98
C		
D		
E		
F		
G		
H		
J		
K		
L		
M		

**THE LOUIS DE SOISSONS PARTNERSHIP**

SHOOT LODGE WANDON GREEN BEDFORDSHIRE LUX 6PH  
Tel 01498 833003 Fax 01498 888004

CLAREBORO HOUSE 38 DAVIES STREET LONDON W1Y 4LG  
Tel 0171 401 1804 Fax 0171 400 7874

18 BARRING CRESCENT EXETER DEVON EX4 1TL  
Tel 01392 66250 Fax 01392 480668

Contract  
**DOLPHIN AND ANCHOR HOTEL  
 CHICHESTER**

Drawing  
**BASEMENT PLAN**

Scale 1:100 Date March 1997

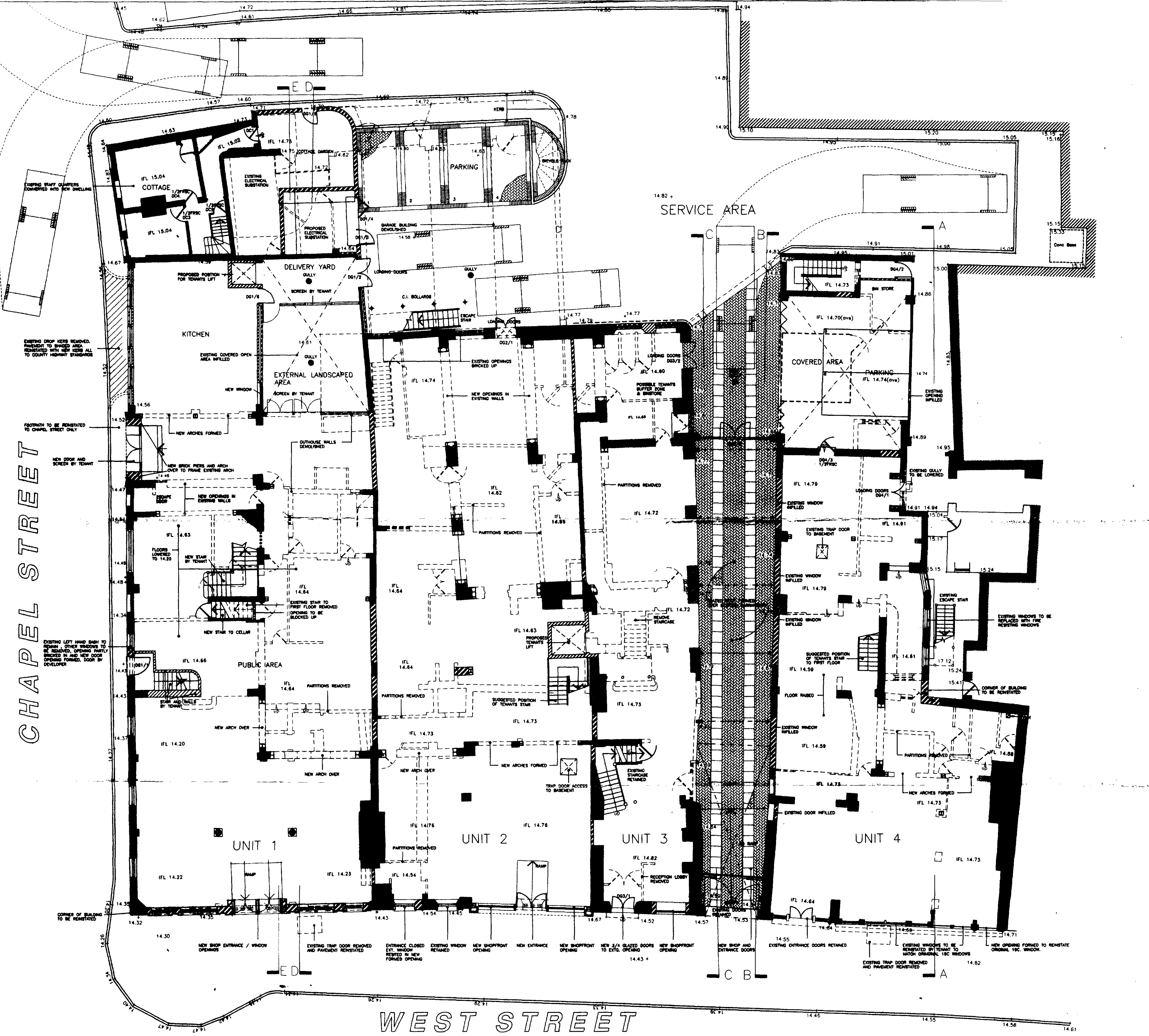
Drawn JW Checked

Drawing No.  
 8773 | P | 1b



NOTES

CHICHESTER DISTRICT COUNCIL  
 PLANNING & STRATEGIC SERVICES  
 NO. CC/98/00328/1/1  
 24 APR 1998  
 THE DISTRICT COUNCIL HAS ACCEPTED  
 THIS PLAN REFERRED TO IN DECISION NOTICE  
 DATED  
**03 APR 1998**  
 CHICHESTER DISTRICT COUNCIL  
 PLANNING & STRATEGIC  
 SERVICES ASSOCIATE



Amendments

A	
B	
C	
D	PLANNING AMENDMENTS 14.B.97
E	PLANNING AMENDMENTS 10.9.97
F	GENERAL AMENDMENTS 23.1.98
G	
H	
J	
K	
L	
M	

THE LOUIS DE SOISSONS PARTNERSHIP

- SHOOT LODGE WANDON GREEN BEDFORDSHIRE LU2 8PH  
Tel 01498 838000 Fax 01498 838004
- CLARIDGE HOUSE 38 DAVIES STREET LONDON W1Y 4LG  
Tel 0171 491 1804 Fax 0171 499 7974
- 18 BARING CRESCENT EXETER DEVON EX1 1TL  
Tel 01392 68288 Fax 01392 480088

Contract  
**DOLPHIN AND ANCHOR HOTEL  
 CHICHESTER**

Drawing  
**GROUND FLOOR PLAN**

Scale 1 : 100 Date JUNE 97

Drawn SH Checked

Drawing No.  
 8773 | P | 2f

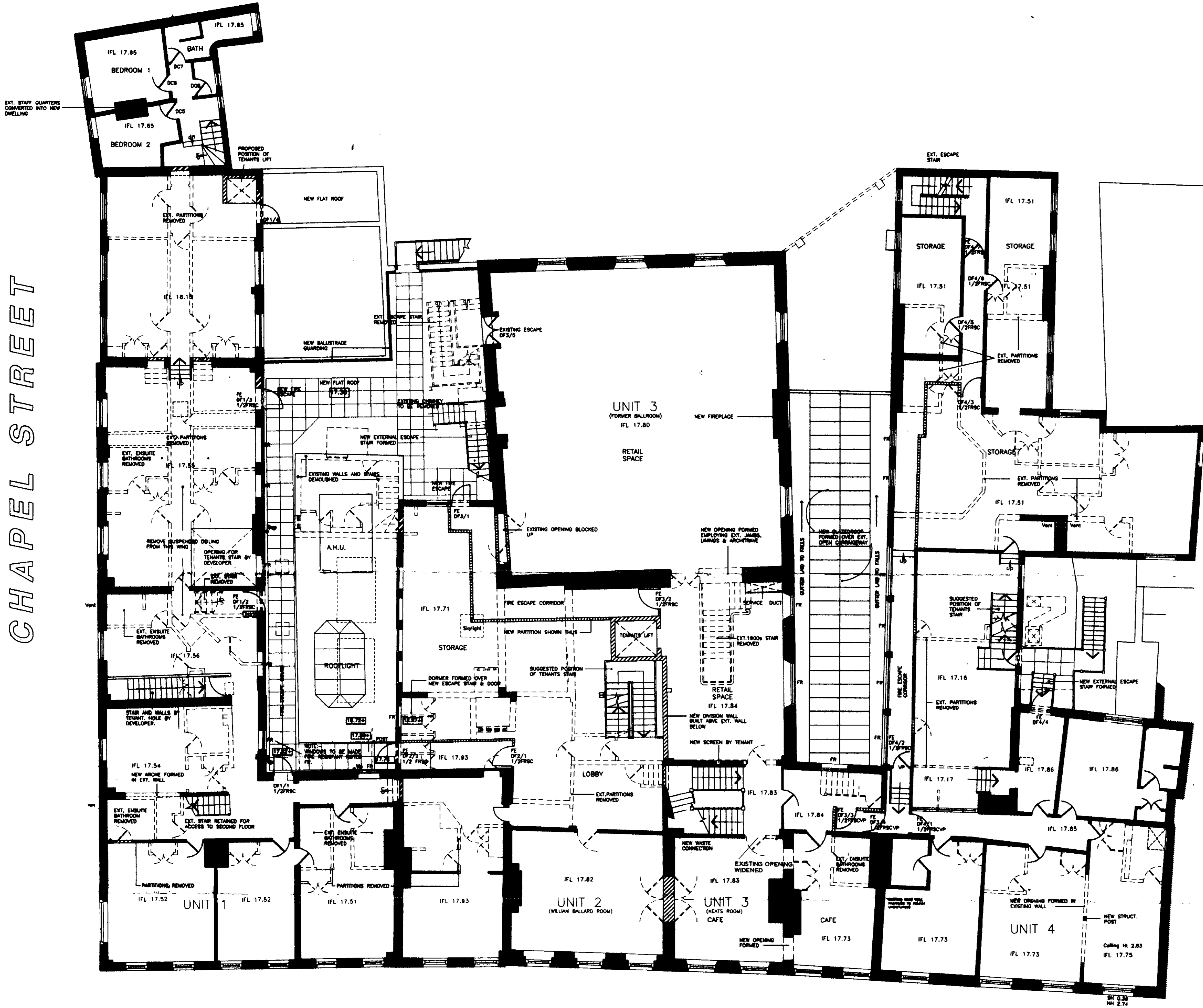


CHICHESTER DISTRICT COUNCIL  
 PLANNING & STRATEGIC SERVICES DEPARTMENT  
 PLAN REFERRED TO IN APPLICATION NO. **01/980037/1/FU**  
 24 FEB 1998

THE DISTRICT COUNCIL DOES NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF THESE PLANS

PLAN REFERRED TO IN DECISION NOTICE DATED **10 APR 1998**

CHICHESTER DISTRICT COUNCIL  
 PLANNING & STRATEGIC SERVICES DEPARTMENT



Amendments

A	
B	
C	PLANNING AMENDMENTS 14.8.97
D	PLANNING AMENDMENTS 23.1.98
E	
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**THE LOUIS DE SOISSONS PARTNERSHIP**

SHOOT LODGE WANDON GREEN BEDFORDSHIRE LU2 8PH  
 Tel 01498 638003 Fax 01498 638004

CLANDON HOUSE 38 DAVIES STREET LONDON W1Y 4LG  
 Tel 0171 491 1804 Fax 0171 499 7974

12 BARING CRESCENT EXETER DEVON EX1 1TL  
 Tel 01398 58286 Fax 01398 420068

Contract  
**DOLPHIN AND ANCHOR HOTEL CHICHESTER**

Drawing  
**FIRST FLOOR PLAN**

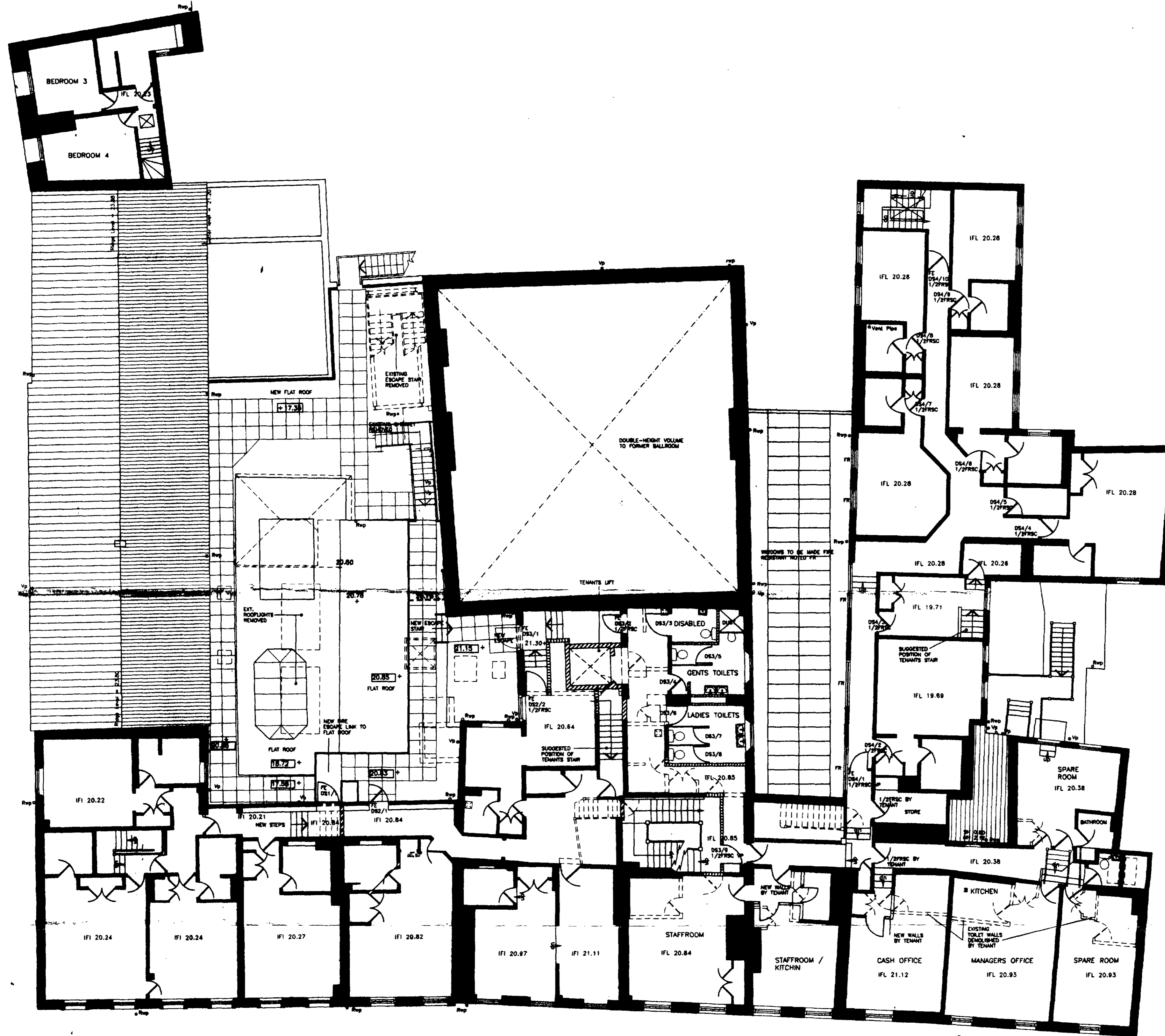
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 Drawn SH Checked

Drawing No.  
 8773 | P | 3d





CHAPEL STREET



WEST STREET



NOTES

CHICHESTER DISTRICT COUNCIL  
 PLANNING DEPARTMENT  
 NO. 047/2003/01/01  
 THE APPLICANT'S RESPONSIBILITY FOR THE ACCURACY OF THESE PLANS

PLAN REFERRED TO  
 IN DECISION NOTICE  
 DATED  
 03 APR 1998  
 CHICHESTER DISTRICT COUNCIL  
 PLANNING STRATEGIC  
 SERVICES DEPARTMENT

Amendments

A		
B	PLANNING AMENDMENTS	14.8.97
C	GENERAL AMENDMENTS	23.1.98
D		
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M		

THE LOUIS DE SOISSONS PARTNERSHIP

- SHOOT LODGE WANDON GREEN BEDFORDSHIRE LU2 6PH  
Tel 01438 833003 Fax 01438 833004
- CLARIDGE HOUSE 32 DAVIES STREET LONDON W1Y 4LG  
Tel 0171 491 1804 Fax 0171 499 7974
- 12 BARING CRESCENT EXETER DEVON EX1 1TL  
Tel 01392 58288 Fax 01392 480088

Contract  
 DOLPHIN AND ANCHOR HOTEL  
 CHICHESTER

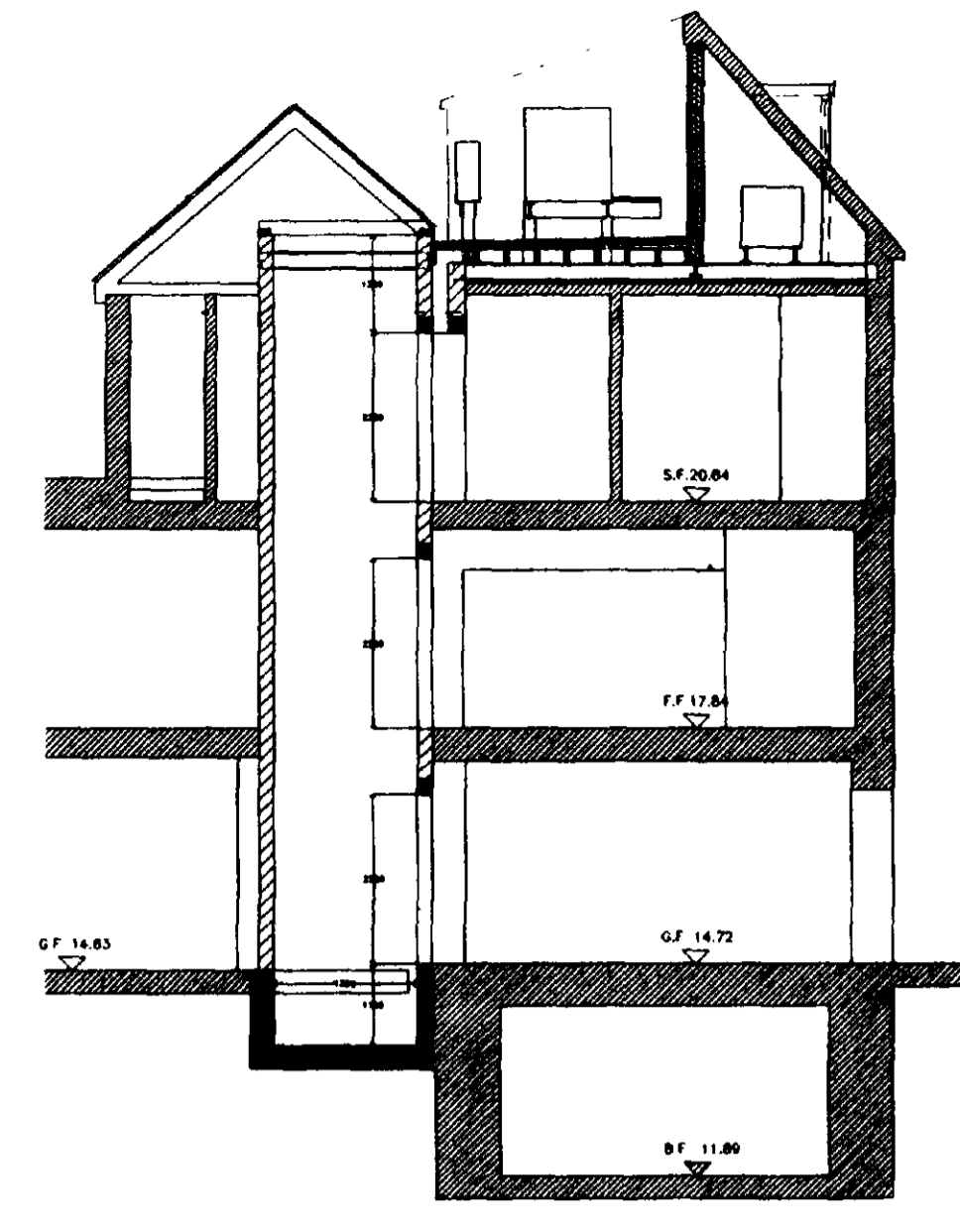
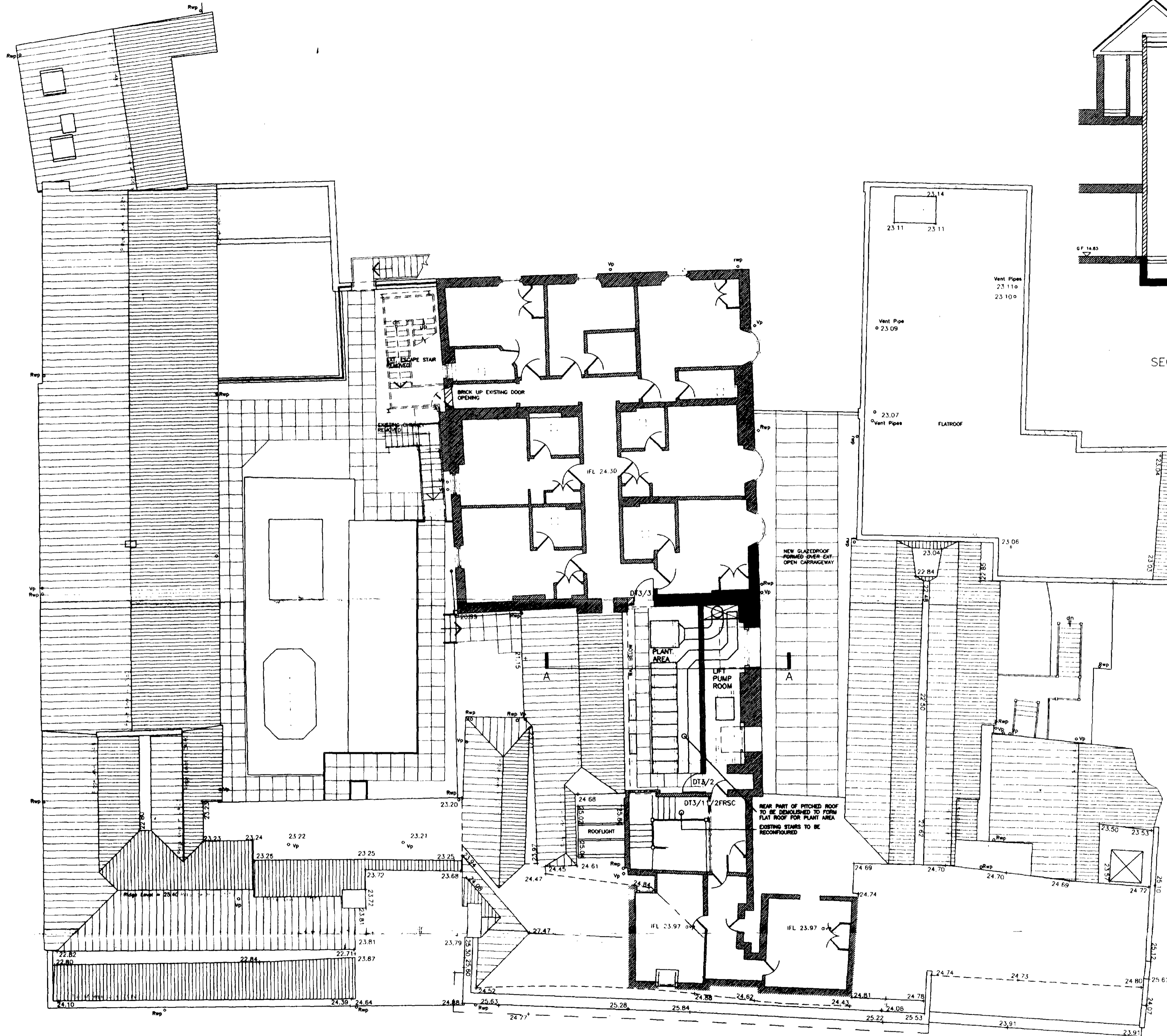
Drawing  
 SECOND FLOOR PLAN

Scale 1 : 100 Date 14 / 1 / 98

Drawn SH / JW Checked

Drawing No.  
 8773 | P | 4c

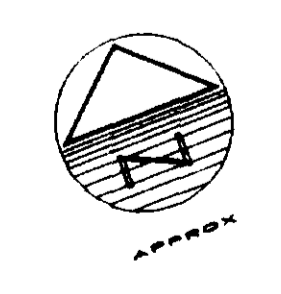
CHAPEL STREET



SECTION A - A

THIRD FLOOR TO BE VOIDED

WEST STREET



CHICHESTER DISTRICT COUNCIL  
 PLAN NO. C/98/00398/70  
 THE OFFICIAL RESPONSIBILITY FOR THE ACCURACY OF THESE PLANS  
 PLAN REFERRED TO IN DECISION NOTICE DATED 03 APR 1998  
 CHICHESTER DISTRICT COUNCIL  
 PLANNING DEPARTMENT  
 100, MARKET STREET, CHICHESTER, SUSSEX, PO19 1SE

Amendments

A		
B		
C	PLANNING AMENDMENTS	14 8 97
D	GENERAL AMENDMENTS	23 1 98
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THE LOUIS DE SOISSONS PARTNERSHIP

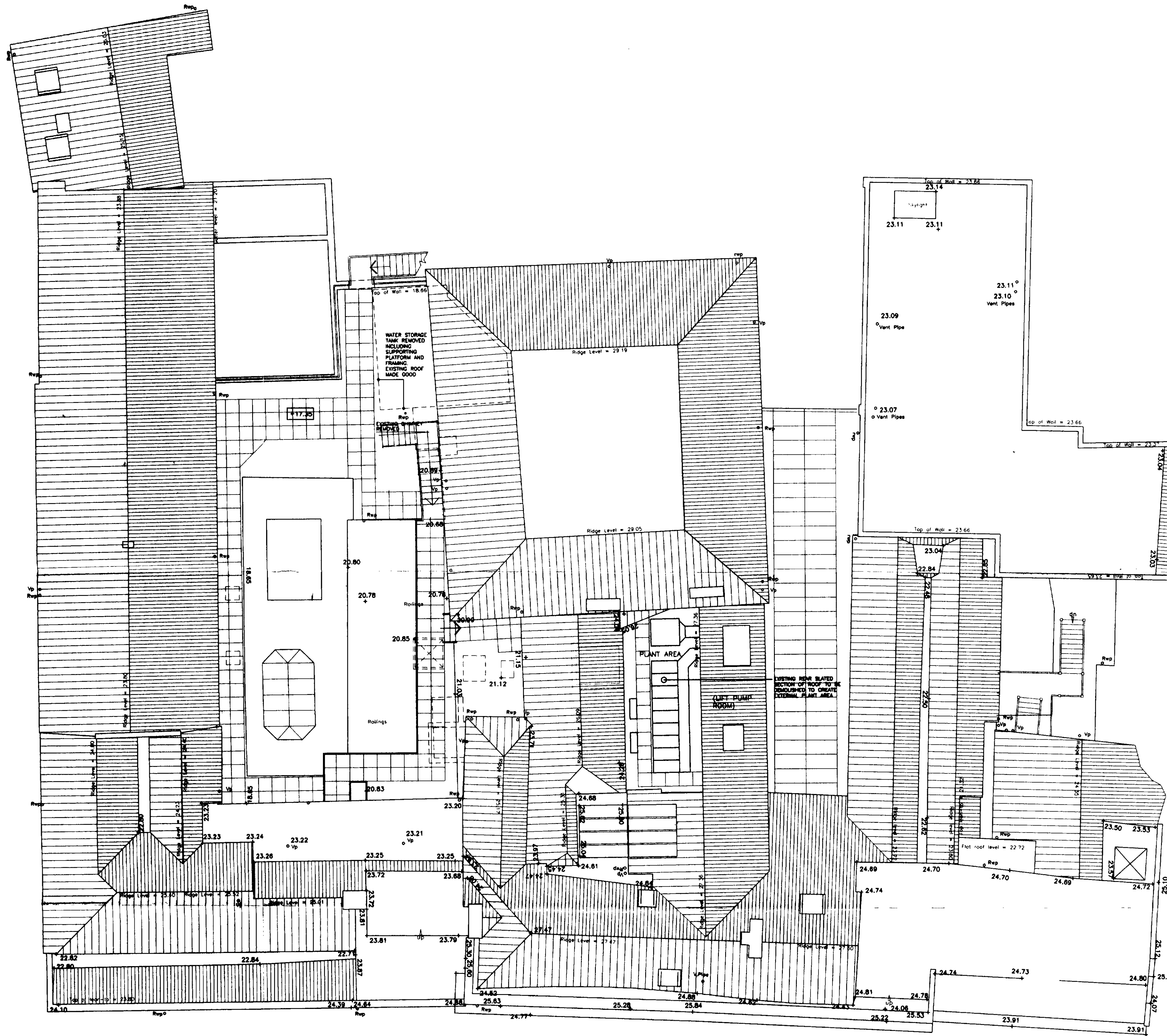
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Tel 01438 835003 Fax 01438 833004
- CLARIDGE HOUSE 32 DAVIES STREET LONDON W1Y 4LG  
Tel 0171 491 1804 Fax 0171 499 7974
- 12 BARING CRESCENT EXETER DEVON EX1 1TL  
Tel 01392 58226 Fax 01392 420068

Contract  
 DOLPHIN AND ANCHOR HOTEL  
 CHICHESTER

Drawing  
 THIRD FLOOR PLAN

Scale 1 : 100 Date JUNE 97  
 Drawn SH Checked  
 Drawing No. 8773 | P | 5D

CHAPEL STREET



WEST STREET

NOTES

CC/98/00378/10

REFERRED TO BY DECISION NOTICE DATED 03 APR 1998  
 DISTRICT COUNCIL  
 PLANNING & STRATEGIC SERVICES DIRECTORATE

Amendments

A		
B	GENERAL AMENDMENTS	23.1.98
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M		

THE LOUIS DE SOISSONS PARTNERSHIP

- SHOOT LODGE WANDON GREEN BEDFORDSHIRE LU2 8PH  
Tel 01438 838003 Fax 01438 833004
- CLARIDGE HOUSE 32 DAVIES STREET LONDON W1Y 4LG  
Tel 0171 491 1804 Fax 0171 499 7974
- 12 BARING CRESCENT EXETER DEVON EX1 1TL  
Tel 01392 58226 Fax 01392 420068

Contract

DOLPHIN AND ANCHOR HOTEL  
 CHICHESTER

Drawing

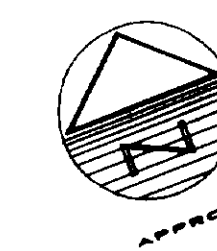
ROOF PLAN

Scale 1 : 100 Date JUNE 97

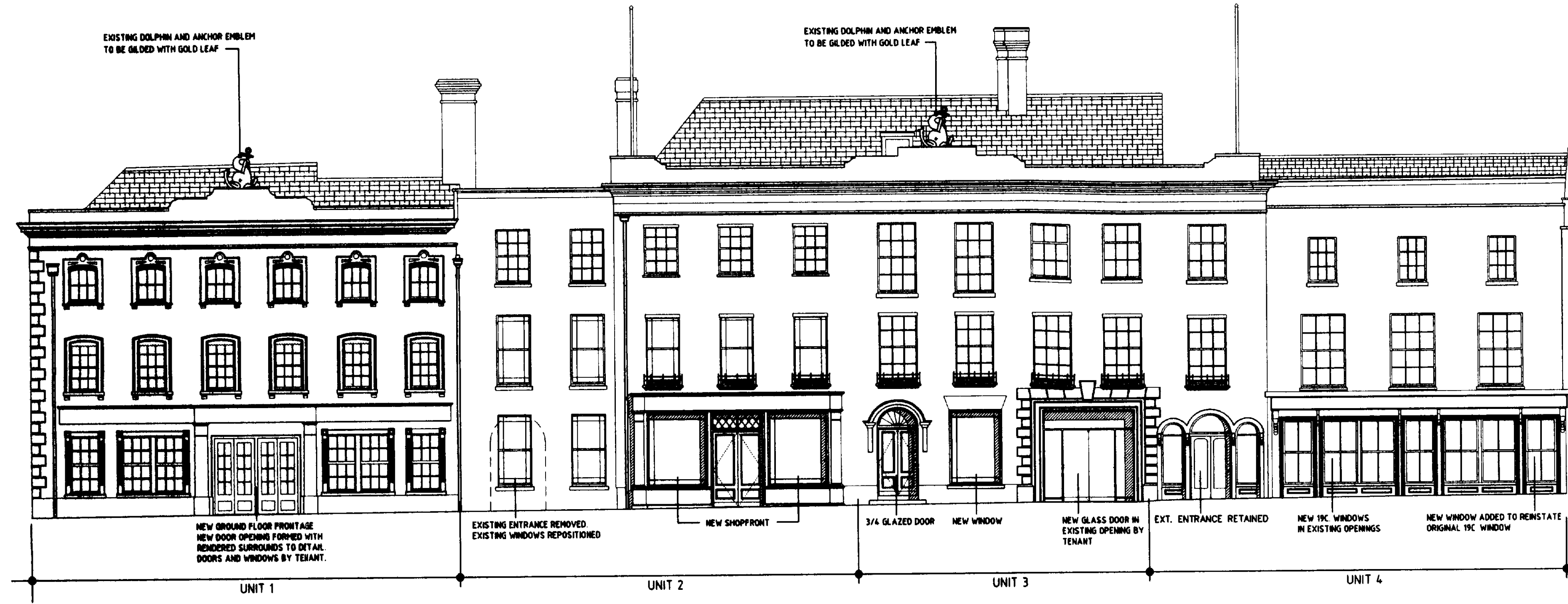
Drawn SH Checked

Drawing No.

8773 | P | 6b







Datum = 10.000m A.O.D.

ELEVATION FROM WEST STREET [ FRONT ELEVATION ]



Datum = 10.000m A.O.D.

ELEVATION FROM CHAPEL STREET

NOTES

PLAN REFERRED TO  
IN DECISION NOTICE  
DATED  
**03 APR 1998**  
COUNCIL  
FOR  
DEVON

Amendments	
A	
B	
C	
D	
E	MINOR ELEVATIONAL CHANGES TO WEST STREET & TO CHAPEL STREET. 27.198
F	
G	
H	
J	
K	
L	
M	

THE LOUIS DE SOISSONS PARTNERSHIP

- SHOOT LODGE WANDON GREEN BEDFORDSHIRE LU2 8PH  
Tel 01438 833003 Fax 01438 833004
- CLARIDGE HOUSE 32 DAVIES STREET LONDON W1Y 4LG  
Tel 0171 491 1804 Fax 0171 499 7974
- 12 BARING CRESCENT EXETER DEVON EX1 1TL  
Tel 01392 58228 Fax 01392 420088

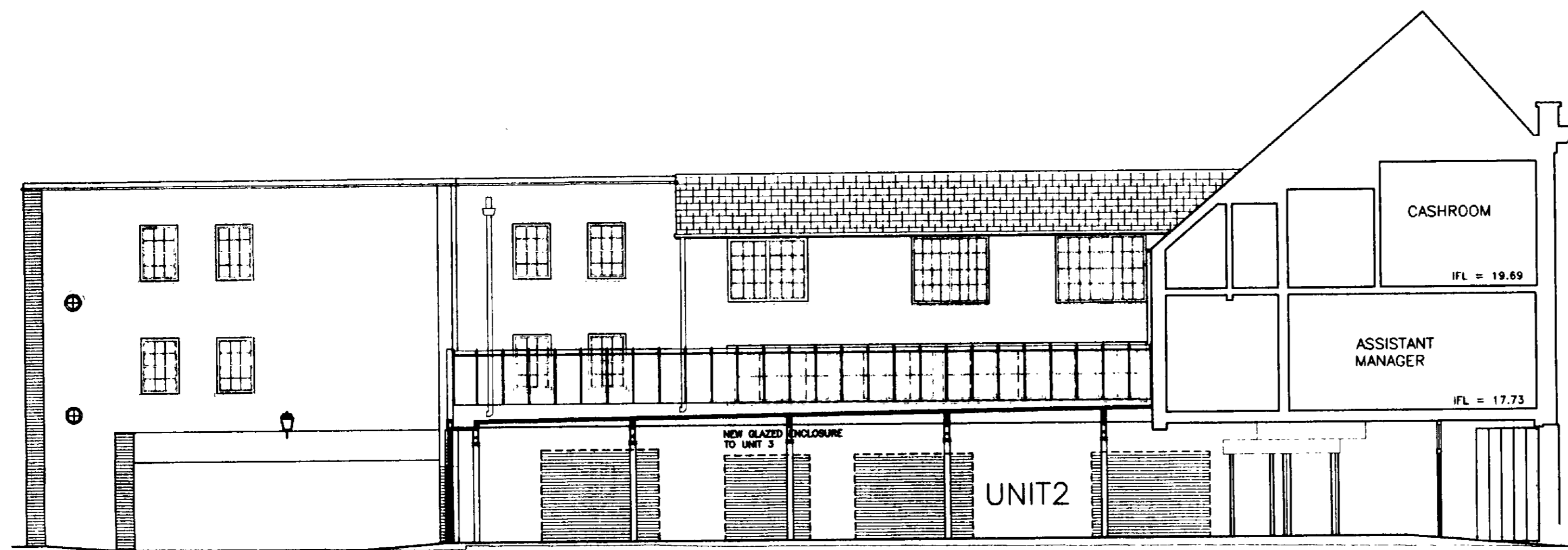
Contract  
DOLPHIN AND ANCHOR HOTEL  
CHICHESTER

Drawing  
ELEVATION - WEST STREET

Scale 1:100 Date March 1997

Drawn JW/SH Checked

Drawing No.  
8773 | P | 7e



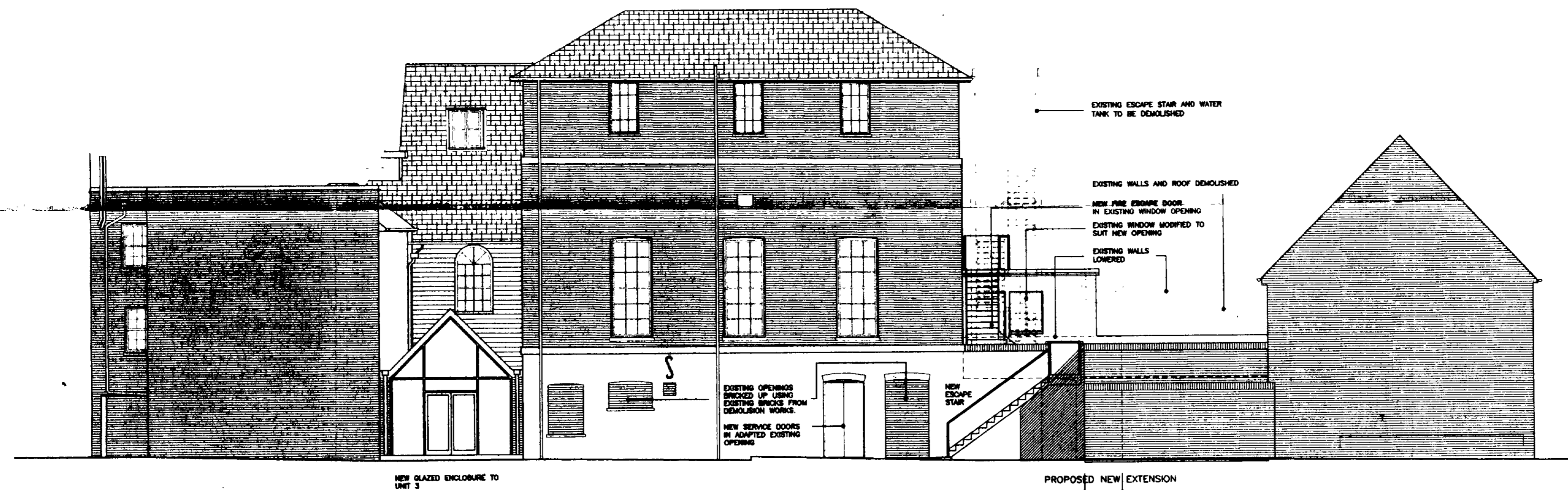
ELEVATION B

Datum = 10.000m A.O.D.



ELEVATION A

Datum = 10.000m A.O.D.



REAR ELEVATION

Datum = 10.000m A.O.D.

PLAN REFERRED IN DECISION DATE 03 APR 1998 CHICHESTER DISTRICT COUNCIL PLANNING SERVICES

Amendments

A	REAR EXTENSION TO UNIT 2 OMITTED	25.7.97
B	PLANNING AMENDMENTS	14.7.97
C	GENERAL AMENDMENTS	25.1.98
D		
E		
F		
G		
H		
J		
K		
L		
M		

THE LOUIS DE SOISSONS PARTNERSHIP

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Tel 01438 833003 Fax 01438 833004
- CLARIDGE HOUSE 32 DAVIES STREET LONDON W1Y 4LG  
Tel 0171 491 1804 Fax 0171 499 7974
- 12 BARING CRESCENT EXETER DEVON EX1 1TL  
Tel 01392 68228 Fax 01392 420088

Contract  
DOLPHIN AND ANCHOR HOTEL  
CHICHESTER

Drawing  
ELEVATIONS SHEET 2

Scale 1:100 Date MARCH 1997

Drawn JW Checked

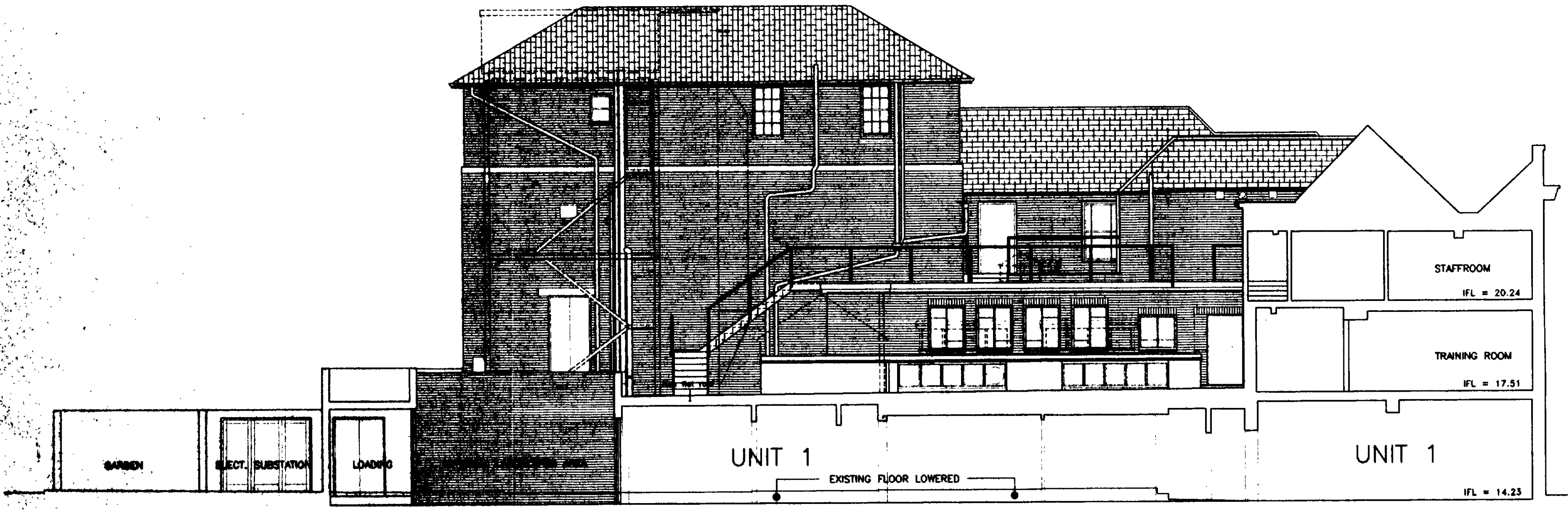
Drawing No. 8773 | P | 8C



6. THE DISTRICT COUNCIL DOES NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF THESE PLANS

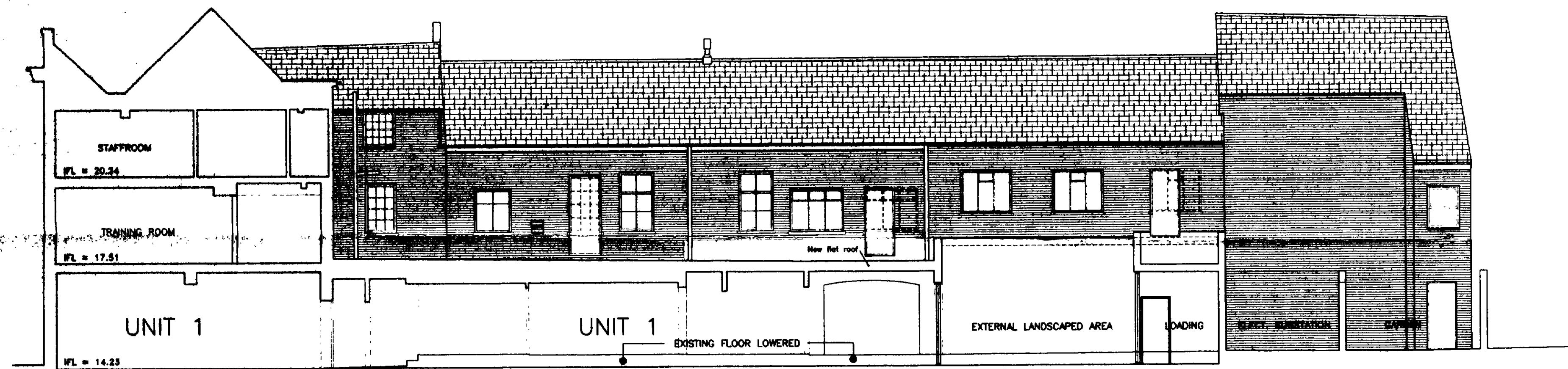
REFERRED TO IN NOTICE DATED 3 APR 1998

DISTRICT COUNCIL STRATEGIC SERVICES DIRECTORATE



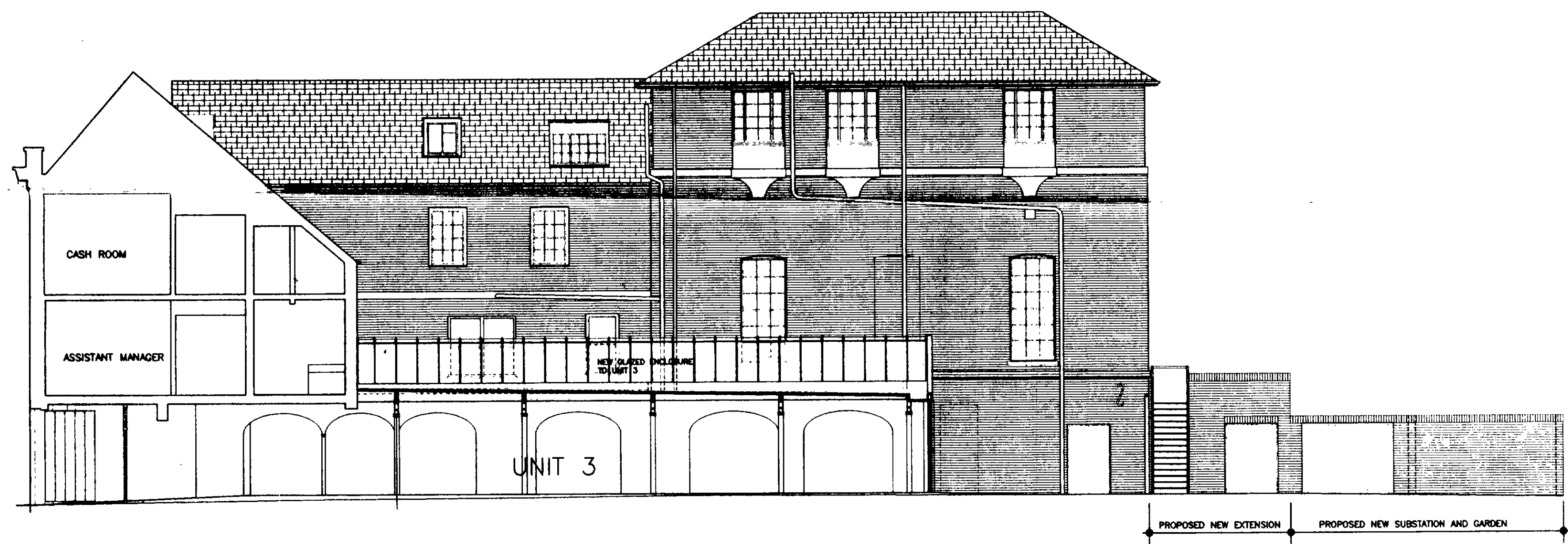
ELEVATION D

Datum = 10.000m A.O.D.



ELEVATION E

Datum = 10.000m A.O.D.



ELEVATION C

Datum = 10.000m A.O.D.

Amendments

A	AMENDMENT TO REAR EXTENSION	25.7.97
B	PLANNING AMENDMENTS	14.8.97
C	GENERAL AMENDMENTS	25.1.98
D		
E		
F		
G		
H		
J		
K		
L		
M		

THE LOUIS DE SOISSONS PARTNERSHIP

- SHOOT LODGE WANDON GREEN BEDFORDSHIRE LU2 8PH  
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Tel 0171 491 1804 Fax 0171 499 7974
- 12 BARING CRESCENT EXETER DEVON EX1 1TL  
Tel 01392 58226 Fax 01392 480068

Contract  
DOLPHIN AND ANCHOR HOTEL  
CHICHESTER

Drawing  
ELEVATIONS SHEET 3

Scale 1:100 Date March 1997  
Drawn JW Checked  
Drawing No. 8773 | P | 9c